



**REVISED**  
**City of Apopka**  
**Planning Commission**  
**Meeting Agenda**  
**September 13, 2016**  
**5:30 PM @ CITY COUNCIL CHAMBERS**

**I. CALL TO ORDER**

If you wish to appear before the Planning Commission, please submit a “Notice of Intent to Speak” card to the Recording Secretary.

**II. OPENING AND INVOCATION**

**III. APPROVAL OF MINUTES:**

1. Approve minutes of the Planning Commission regular meeting held August 9, 2016, at 5:30 p.m.

**IV. PUBLIC HEARING:**

1. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Owned by Equity Waters Edge, LLC, c/o David Shapiro, from “County” Rural (1 du/10 ac) to “City” Mixed Use, for property located at 1850 South Binion Road. (Parcel ID #: 19-21-28-0000-00-011)
2. CHANGE OF ZONING – Owned by Equity Waters Edge, LLC, c/o David Shapiro, from “County” A-1 (Rural) to “City” Mixed-EC (Mixed Use), for property located at 1850 South Binion Road. (Parcel ID #: 19-21-28-0000-00-011)
3. MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN AMENDMENT – Robert K. Dunn, Et. Al., for property located north of Old Dixie Highway, east of Richard L. Mark Drive, and south of Errol Parkway. (Parcel ID #s: 05-21-28-0000-00-019, 05-21-28-0000-00-034, 05-21-28-0000-00-035 & 05-21-28-0000-00-041)
4. CHANGE OF ZONING – Orchid Estates Planned Unit Development Master Plan – Owned by JTD Land at Orchid Estates, c/o James Fant and located south of Kelly Park Road, west of Jason Dwelley Parkway. (Parcel ID #s: 18-20-28-0000-00-055 & 18-20-28-0000-00-059)

**V. SITE PLANS:**

1. PRELIMINARY DEVELOPMENT PLAN - NORTHWEST DISTRIBUTION FACILITY BUILDING “D” – Owned by Oakmont Apopka Road, LLC; applicant is Oakmont Industrial Group c/o Jimmy Stainback. Property located on Ocoee Apopka Road between S.R. 451 and Ocoee-Apopka Road and east of Boy Scout Road. (Parcel ID #s: 17-21-28-5953-03-000; 17-21-28-5953-04-000)

**VI. OLD BUSINESS:**

**VII. NEW BUSINESS:**

**VIII. ADJOURNMENT:**

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All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.



**Backup material for agenda item:**

- 1 Approve minutes of the Planning Commission regular meeting held August 9, 2016, at 5:30 p.m.

**MINUTES OF THE PLANNING COMMISSION MEETING HELD ON AUGUST 9, 2016, AT 5:30 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.**

**MEMBERS PRESENT:** James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Linda Laurendeau, Jose Molina, and Roger Simpson

**ABSENT:** Orange County Public Schools (Non-voting)

**OTHERS PRESENT:** Mark Reggentin, AICP – Community Development Director, David Moon, AICP - Planning Manager, Andrew Hand, Esq., Rogers Beckett – Senior Projects Coordinator, Kyle Wilkes, AICP – Planner II, Teresa Sargeant, Suzanne Kidd, John M. Florio, John Townsend, Suzanne Sweeney, and Jeanne Green – Community Development Department Office Manager/Recording Secretary.

**OPENING AND INVOCATION:** Chairman Greene called the meeting to order and asked for a moment of silent prayer. The Pledge of Allegiance followed.

**APPROVAL OF MINUTES:** Chairperson Greene asked if there were any corrections or additions to the meeting minutes of July 12, 2016, at 5:30 p.m. minutes.

**Motion:** Melvin Birdsong made a motion to approve the Planning Commission minutes from the meeting held on July 12, 2016, at 5:30 p.m. and seconded by Jose Molina. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Linda Laurendeau, and Jose Molina (6-0).

Roger Simpson arrived at 5:35.

**LEGISLATIVE – LAND DEVELOPMENT CODE AMENDMENT – EX PARTE CONTACT -** Chairperson Greene stated this is a request to recommend approval of an amendment to the City of Apopka Code of Ordinances, Part III, Land Development Code, Article 1, to adopt provisions to provide access to public officials of the City of Apopka regarding quasi-judicial matters.

Staff Presentation: Mark Reggentin, AICP, Community Development Director, stated this is a request to recommend approval of an amendment to the City of Apopka Code of Ordinances, Part III, Land Development Code, Article 1, to adopt provisions to provide access to public officials of the City of Apopka regarding quasi-judicial matters.

It has been the recent policy of the city to allow ex'parte communication between elected and appointed board members and the public. This policy is based upon the belief that the public should be able to voice their opinions on quasi-judicial matters to city officials prior to a public hearing on the issue. In order to address this concern on a state wide basis, the legislature enacted Section 286.0115 of the Florida Statutes to address a process for disclosure of ex'parte communications and without a presumption of prejudice.

During a review of the Land Development Code, it was discovered that Section 1.01.10 of the Land Development Code specifically prohibits ex'parte communications. Based upon the standing policy and practice of the city, ex'parte communications have been allowed following the procedures outlined in the statutes. To rectify this inconsistency, staff has prepared an amendment to the Land Development Code to address ex'parte communications, and disclosure procedures.

In response to questions and concerns by Ms. Laurendeau, Mr. Hand stated that the proposed amendment was taken directly from the statutes and allows due process for applicants. He added that, in addition to the Code, public officials would be subject to the ethics laws.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

**Motion:** Robert Ryan made a motion to recommend approval of the amendment to the City of Apopka Code of Ordinances, Part III, Land Development Code, Article 1, to adopt provisions to provide access to public officials of the City of Apopka regarding quasi-judicial matters; and Linda Laurendeau seconded the motion. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Linda Laurendeau, Jose Molina, and Roger Simpson (7-0). (Vote taken by poll.)

**LEGISLATIVE – LAND DEVELOPMENT CODE AMENDMENT - BUILDING HEIGHTS -**

Chairperson Greene stated this is a request to recommend approval of an amendment to the City of Apopka Code of Ordinances, Part III, Land Development Code, Article 2, Section 2.02.01 to allow building heights in excess of 35 feet when expressly permitted by Special Exception or Planned Unit Development.

Staff Presentation: Mr. Reggentin stated this is a request to recommend approval of an amendment to the City of Apopka Code of Ordinances, Part III, Land Development Code, Article 2, Section 2.02.01 to allow building heights in excess of 35 feet when expressly permitted by Special Exception or Planned Unit Development.

As Community Development staff has been reviewing the Land Development Code in anticipation of the update scheduled to begin in the next few months, one issue was discovered that could adversely affect economic development while the code is in the process of being updated. This issue is related to building height. Currently building height is limited to 35 feet except within the downtown overlay district. The downtown overlay district permits the following maximum building heights: single family residential uses - 35 feet; multi-family uses – 75 feet; and commercial or non-residential uses – 100 feet provided no residential uses or a residential zoning district is located within 200 feet. This distance is measured from property line to property line. Otherwise the maximum building height is 35 feet. This is a very common standard contained in codes from the late 1980's and early 1990's. It was primarily based upon the height that a ladder truck could reach. With the advent of modern building and fire codes, buildings have become much safer in relation to fire hazards.

Currently, in order to construct a building in excess of 35 feet, an applicant must rezone the property to Planning Unit Development (PUD) and go through a time consuming review and approval process. According to Community Development staff, development interests have approached the City to develop office buildings over 35 feet but did not move forward due to the process involved with a PUD application which may take several months. This represents lost opportunity.

To address this, staff is proposing an amendment to the Land Development Code to allow an applicant to request a special exception to height requirements. If building height is the only issue, an applicant can request a special exception and avoid the costly and time consuming PUD process. This will allow an applicant requesting non-residential development over 35 feet to have that issue addressed in an expeditious and straight forward fashion. The review criteria has been developed to avoid potential adverse effects on surrounding properties.

In response to a question by Mr. Foster, Mr. Reggentin stated that he has been with the City for a few months and there have not been any requests for buildings over 35 feet; however, he has been informed by staff that there has been requests in the past.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

**Motion:** Linda Laurendeau made a motion to recommend approval of the amendment to the City of Apopka Code of Ordinances, Part III, Land Development Code, Article 2, Section 2.02.01 to allow building heights in excess of 35 feet when expressly permitted by Special Exception or Planned Unit Development; and Jose Molina seconded the motion. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Linda Laurendeau, Jose Molina, and Roger Simpson (7-0). (Vote taken by poll.)

**SWEARING-IN** - Mr. Hand swore-in staff, the petitioners, and affected parties.

**QUASI-JUDICIAL – MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN – EMERSON NORTH TOWNHOMES** – Chairperson Greene stated this is a request to recommend approval of the Master Plan/Preliminary Development Plan for Emerson North Townhomes. The owner/applicant is Pulte Group, c/o Doug Hoffman. The engineer is Donald W. McIntosh Associates, Inc., c/o John T. Townsend, P.E. The property is located at 1701 Ocoee Apopka Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. Mr. Ryan stated that he had e-mailed two questions to Mr. Moon, who responded that he would answer them during his presentation.

Staff Presentation: David Moon, AICP, Planning Manager, stated this is a request to recommend this is a request to recommend approval of the Master Plan/Preliminary Development Plan for Emerson North Townhomes. The owner/applicant is Pulte Group, c/o Doug Hoffman. The engineer is Donald W. McIntosh Associates, Inc., c/o John T. Townsend, P.E. The property is located at 1701 Ocoee Apopka Road. The future land use is Mixed-Use (0-15 du/ac) and the zoning is Mixed-EC. The existing use is planted pine and the proposed use is a residential townhome community with 136 units and a future public right-of-way. The tract size is 21.42 +/- acres. 17.1 +/- acres for the residential community and 4.24 +/- acres for the East Harmon Road right-of-way. The density is 7.95 units per acre.

The Emerson North Townhomes Master Plan/Preliminary Development Plan is a two phase project proposing 136 townhome units with 3.12 +/- acres of active and passive recreation and open space within a 17.1 +/- acre site. The Mixed-EC zoning designation requires a minimum of 2.565 acres for parks and open space for this residential community to be owned and maintained by the homeowners’ association. All internal roads will be private streets also maintained by the homeowners’ association. The project entrances will be gated. The proposed living area for the townhomes is 1,530 sq. ft. which exceeds the 1,350 sq. ft. minimum requirement and the 1,500 sq. ft. aggregate for the Mixed-EC zoning designation.

The minimum setbacks applicable to the project are:

Setback	Min. Standard
Perimeter	25’
Front	50’*
Side	20’*
Rear	50’*
*Distance between structures.	

Exterior elevations of all proposed homes must be reviewed by the Community Development Department prior to issuance of a building permit. Exterior home elevations must meet the intent of the City’s Development Design Guidelines.

**MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON AUGUST 9, 2016, AT 5:30 P.M.**

Ingress/egress for the development will be via two access points from Harmon Road. The western access/gate will become available at the time East Harmon Road is extended to the west.

The stormwater management system includes an on-site retention area. Stormwater ponds are located within Tract "B" and Tract "C." The design of the stormwater ponds meets the City's Land Development Code requirements.

The developer is providing over 3.12 acres of active and passive recreation space when only 2.565 acres is required. The applicant is proposing a swimming pool with a cabana (400 +/- sq. ft.) and a tot lot within the active recreational space. Per Section 2.02.20.H.4a of the Land Development Code, developments made up of less than 300 units shall be required to construct a minimum total of 2,000 sq. ft. of facility or facilities for a Neighborhood Activity Center. This facility will be one of the following: meeting halls; recreation facilities such as a gazebo, covered pavilions, etc. The Master Plan/Preliminary Development Plan provides only a 400 sq. ft. cabana which is 1,600 sq. ft. short of the 2,000 sq. ft. required by the Code.

Buffers provided are consistent with the Land Development Code. The planted pine is exempt from the arbor requirements and will be harvested for silviculture purposes.

The following is a summary of the tree replacement program for this project:

Total inches on-site:	15,277
Total number of specimen trees:	2
Total specimen inches retained:	0
Total inches replaced:	1,033
Total inches removed:	1,606
Total inches retained:	1,441
Total inches post development:	2,474

The developer must obtain approval from the Florida Department of Environmental Protection prior to commencing any site construction activity regarding protection and relocation of any identified protected species. A habitat management plan must be submitted with the Final Development Plan.

No development activity, clearing or grading can occur until such time that a concurrency mitigation agreement has been approved by Orange County Public Schools (OCPS).

The County was notified at the time of the land use amendment and rezoning applications for this property. Coordination occurred with County planning staff regarding impact on adjacent parcels. Orange County also receives a copy of the Development Review Committee agenda.

**CONDITIONS OF APPROVAL:**

1. A developer's agreement must be approved by City Council to address the conveyance of land to the City of Apopka for the future Harmon Road right-of-way extension. The right-of-way shall be sufficient to provide a two-lane divided highway with a multi-use trail on the south side of the road.
2. A minimum of 2,000 sq. ft. shall be provided in the form of a meeting house, gazebo, covered pavilion, etc., or as allowed by Section 2.02.20.H.4 – Neighborhood Activity Center of the Land Development Code.

The Development Review Committee recommends approval of the Emerson North Townhomes Master Plan/Preliminary Development Plan, subject to City Council approval of a Developer's Agreement, the provision of a minimum 2,000 sq. ft. of Neighborhood Activity Center, and subject to the findings in the staff report.

**MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON AUGUST 9, 2016, AT 5:30 P.M.**

The recommended action is to find the Emerson North Townhomes Master Plan/Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code and recommend approval of the Master Plan/Preliminary Development Plan, subject to City Council approval of a Developer's Agreement, the provision of a minimum 2,000 sq. ft. of Neighborhood Activity Center, and subject to the findings in the staff report.

The role of the Planning Commission for this development application is to advise the City Council to approve, approve with conditions, or deny based on consistency with the Comprehensive Plan and Land Development Code.

Mr. Ryan expressed concerns with the 20 foot front setback and residents not being able to park an oversized vehicle, like an F-150 pickup truck, in front of the garage.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner Presentation: Doug Hoffman, Pulte Homes, 4901 Vineland Road, 5<sup>th</sup> Floor, Orlando, stated that they had built the same type of product in the Dr. Phillips area, Casselberry, and Seminole County. The townhomes will have two to three bedrooms. The living area will range from 1,540 square feet to 1,700 square feet. Each townhome will have at least two parking spaces. He stated that the 20 foot setback is the typical depth for parking space in front of a garage.

In response to questions by Mr. Ryan, Mr. Hoffman stated that half of the townhomes will have two to three bedrooms and noted that the third bedroom could be used as a den or a bedroom. He stated that due to the configuration of the lot, the density is tight. He added that the code requires they provide 34 overflow parking spaces and they are providing 88.

John Townsend, P.E., Donald W. McIntosh Associates, 2200 Park Avenue North, Winter Park, stated that this would be a gated community and the street would be private. He said they are providing the City with an 80 foot right of way to the north of the property for the proposed widening of Harmon Road.

In response to a question by Mr. Ryan, Mr. Moon stated that the configuration of the site is tight; however, between this meeting and the City Council meeting, staff will go back and review the possibility of increasing the front setback.

Mr. Townsend stated that they would be willing to move the sidewalks two feet closer to the street if the City would allow it.

Mr. Moon stated that the City Engineer would have to review that possibility to see what impacts that would have on utilities, drainage, etc.

Affected Party Presentation: None.

Chairperson Greene opened the meeting for public hearing.

Suzanne Sweeney, 246 East 2<sup>nd</sup> Street, Apopka, expressed her concerns regarding the possibility of people parking on the grass if they did not have enough room in their driveway; the size of the garages and the lack of storage space. She suggested that the developer consider 2 ½ car garages to accommodate parking and storage.

Mr. Hoffman stated that there are provisions in the homeowner association documents that will address the uses of the garages and the required upkeep of the property.

With no one else wishing to speak, Chairperson Greene closed the public hearing.

Mr. Ryan recommended the Commission table this item until staff has a chance to go back and review the front setback.

Mr. Greene stated that was not necessary since the Commission, if they so choose, could make their recommendation to City Council to require an increase in the front setback to accommodate larger vehicles. Then it would be City Council's decision as to whether to approve the project with that condition.

**Motion:** Chairman Green made a motion to find the Emerson North Townhomes Master Plan/Preliminary Development Plan is consistent with the Comprehensive Plan and Land Development Code; to recommend approval of the Emerson North Townhomes Master Plan/Preliminary Development Plan subject to: City Council approval of a Developer's Agreement; the provision of a minimum 2,000 sq. ft. of Neighborhood Activity Center; and subject to the findings in the staff report for the property owned by Pulte Group, c/o Doug Hoffman and located at 1701 Ocoee Apopka Road.

Motion died due to lack of a second.

**Motion:** Tony Foster made a motion to find the Emerson North Townhomes Master Plan/Preliminary Development Plan is consistent with the Comprehensive Plan and Land Development Code; to recommend approval of the Emerson North Townhomes Master Plan/Preliminary Development Plan subject to: City Council approval of a Developer's Agreement; the provision of a minimum 2,000 sq. ft. of Neighborhood Activity Center; and the condition for the provision of a 22 foot front setback to accommodate parking of large vehicles, such as F-150s, in the driveways; and subject to the findings in the staff report for the property owned by Pulte Group, c/o Doug Hoffman and located at 1701 Ocoee Apopka Road. The motion was seconded by Linda Laurendewau. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Linda Laurendeau, Jose Molina, and Roger Simpson (7-0). (Vote taken by poll.)

**OLD BUSINESS:** None.

**NEW BUSINESS:** Mr. Foster assured Ms. Sweeney that the homeowners association would be responsible for the upkeep of the property.

**ADJOURNMENT:** The meeting was adjourned at 6:24 p.m.

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James Greene, Chairperson

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Mark Reggentin, AICP  
Community Development Director

**Backup material for agenda item:**

1. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Owned by Equity Waters Edge, LLC, c/o David Shapiro, from “County” Rural (1 du/10 ac) to “City” Mixed Use, for property located at 1850 South Binion Road. (Parcel ID #: 19-21-28-0000-00-011)





# CITY OF APOPKA PLANNING COMMISSION

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<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	September 13, 2016
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Land Use Report
<input type="checkbox"/> OTHER:		Vicinity Map
		Adjacent Zoning Map
		Adjacent Uses Map
		Existing Uses

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**SUBJECT:**                    **COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – EQUITY WATERS EDGE, LLC**

**PARCEL ID NUMBER:**    **19-21-28-0000-00-011**

**Request:**                    **COMPREHENSIVE PLAN - SMALL SCALE - FUTURE LAND USE AMENDMENT**  
**FROM:**                    **“COUNTY” RURAL (1 DU/ 10 AC)**  
**TO:**                         **“CITY” MIXED USE**

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### **SUMMARY**

**OWNER/APPLICANT:**                    Equity Waters Edge, LLC – David Shapiro

**LOCATION:**                                 1850 S. Binion Road

**EXISTING USE:**                             Vacant Land

**CURRENT ZONING:**                        “County” A-1

**PROPOSED DEVELOPMENT:**            City has received a Preliminary Development Plan for a single family residential development.

**PROPOSED ZONING:**                    “City” Mixed-EC (Mixed Use) (Note: this Future Land Use Map amendment request is being processed along with a request to change the Zoning Map designation from “County”A-1 to “City” Mixed-EC [Mixed Use])

**TRACT SIZE:**                                5.6 +/- acres

**MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT:**

<b>EXISTING:</b>	Vacant; 1 dwelling unit per 10 acres
<b>PROPOSED:</b>	Employment center; 15 du/ac

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### **DISTRIBUTION**

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	

**ADDITIONAL COMMENTS:** Presently, the subject property has not yet been assigned a “City” Future Land Use Designation or a “City” zoning category. Applicant is requesting the City to assign a future land use designation of Mixed Use to the property.

The subject property has been annexed into the City of Apopka. The annexation occurred on June 5, 2013, through the adoption of Ordinance No. 2303. The proposed Small-Scale Future Land Use Amendment is being requested by the owner/applicant. Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign a Future Land Use Designation of Mixed Use is compatible with the designations assigned to abutting properties. The FLUM application covers approximately 5.6 acres.

The parcel owner – Equity Waters Edge, LLC – also owns abutting parcels to the south, combining these for a future development site of approximately 75 acres. A Preliminary Development Plan is under review by the City’s Development Review Committee for a single family residential community.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report).

**COMPREHENSIVE PLAN COMPLIANCE:** The proposed use of the property is consistent with the Mixed Use Future Land Use designation and the City’s proposed Mixed Use Zoning. Site development cannot exceed the intensity allowed by the Future Land Use policies.

**SCHOOL CAPACITY REPORT:** No more than nine residential homes will be constructed on the 5.6 acre site. Pursuant to the School Planning Agreement, nine or less residential units is considered a de minimus impact on schools. Therefore, this 5.6 acre site is exempt from School Capacity Enhancement review. However, school concurrency review will occur at the time of a preliminary or final development plan.

**ORANGE COUNTY NOTIFICATION:** The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on August 12, 2016.

**PUBLIC HEARING SCHEDULE:**

September 13, 2016 - Planning Commission (5:30 pm)  
October 5, 2016 - City Council (1:30 pm) - 1st Reading  
October 19, 2016 – City Council (7:00 pm) - 2nd Reading

**DULY ADVERTISED:**

August 26, 2016 – Public Notice and Notification  
October 8, 2016 – ¼ Page w/Map Ordinance Heading Ad

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**RECOMMENDED ACTION:**

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in Future Land Use from “County” Rural (1 du/ 10 ac) to “City” Mixed Use for the property owned by Equity Waters Edge, LLC and located at 1850 S. Binion Road.

Recommend to amend the Future Land Use Map designation from “County” Rural to “City” Mixed Use.

**Note: This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.**

**LAND USE REPORT**

**I. RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Mixed Use	Mixed-EC	Green House
East (City)	Mixed Use	A-1(ZIP)	Vacant \Binion Road
South (City)	Mixed Use	Mixed-EC	Vacant
West (County)	Rural/Agricultural (1 du/ 10 ac)	A-2	SJRWMD\conservation

**II. LAND USE ANALYSIS**

The general character of the area surrounding the subject property is compatible with the development of mixed uses. The subject property fronts and is accessed by a local roadway (S. Binion Rd.) and has access to Harmon Rd.

Wekiva River Protection Area: No  
 Area of Critical State Concern: No  
 DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is not located within “Core Area” of the JPA.

Redevelopment: Policy 3.13. No non-conforming structure shall be substantially expanded.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the character of the Property: The property fronts S. Binion Rd. The vegetative communities present are urban; the soils present are Candler fine sand, Canova sand, and Tavares sand; and no wetlands occur on the site, and the terrain has a 0-12 percent slope.

The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.r. Mixed-Use Future Land Use designation.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the Property is Mixed Use. Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population

**CALCULATIONS:**

ADOPTED (County designation): 1 Unit(s) x 2.659 p/h = 2.659 persons  
PROPOSED (City designation): 15 Unit(s) x 2.659 p/h = 223 persons

Housing Needs: This amendment may negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Potable Water, Reclaimed Water & Sanitary Sewer Analysis: The subject property is located within the City of Apopka Utilities service area for potable water, reclaimed water and sanitary service.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita;  
81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 196 GPD
3. Projected total demand under proposed designation: 53,054 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka; 177 GPD/Capita;  
177 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 210 GPD
3. Projected total demand under proposed designation: 66,427 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD/Capita
6. Projected LOS under proposed designation: 177 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: None
2. If the site is not currently served, please indicate the designated service provider:  
City of Apopka
3. Projected LOS under existing designation: 12 lbs./person/day
4. Projected LOS under proposed designation: 1380 lbs./day/1000 sf
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 21.981 GPD

Total design capacity of the water treatment plant(s): 33.696 GPD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year - 25 hour design storm
3. Projected LOS under proposed designation: 100 year - 25 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation

1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 0.009 AC
3. Projected facility under proposed designation: 0.669 AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment:  
None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.



**EQUITY WATERS EDGE, LLC**  
**1850 S. Binion Rd.**

**5.6 +/- acres**

**Existing Maximum Allowable Development: 1 dwelling unit/ac**  
**Proposed Maximum Allowable Development: 15 dwelling unit/ac**

**Proposed Small Scale Future Land Use Change**  
**From: "County" Rural/Agricultural (1 du/10 ac)**

**To: "City" Mixed Use**

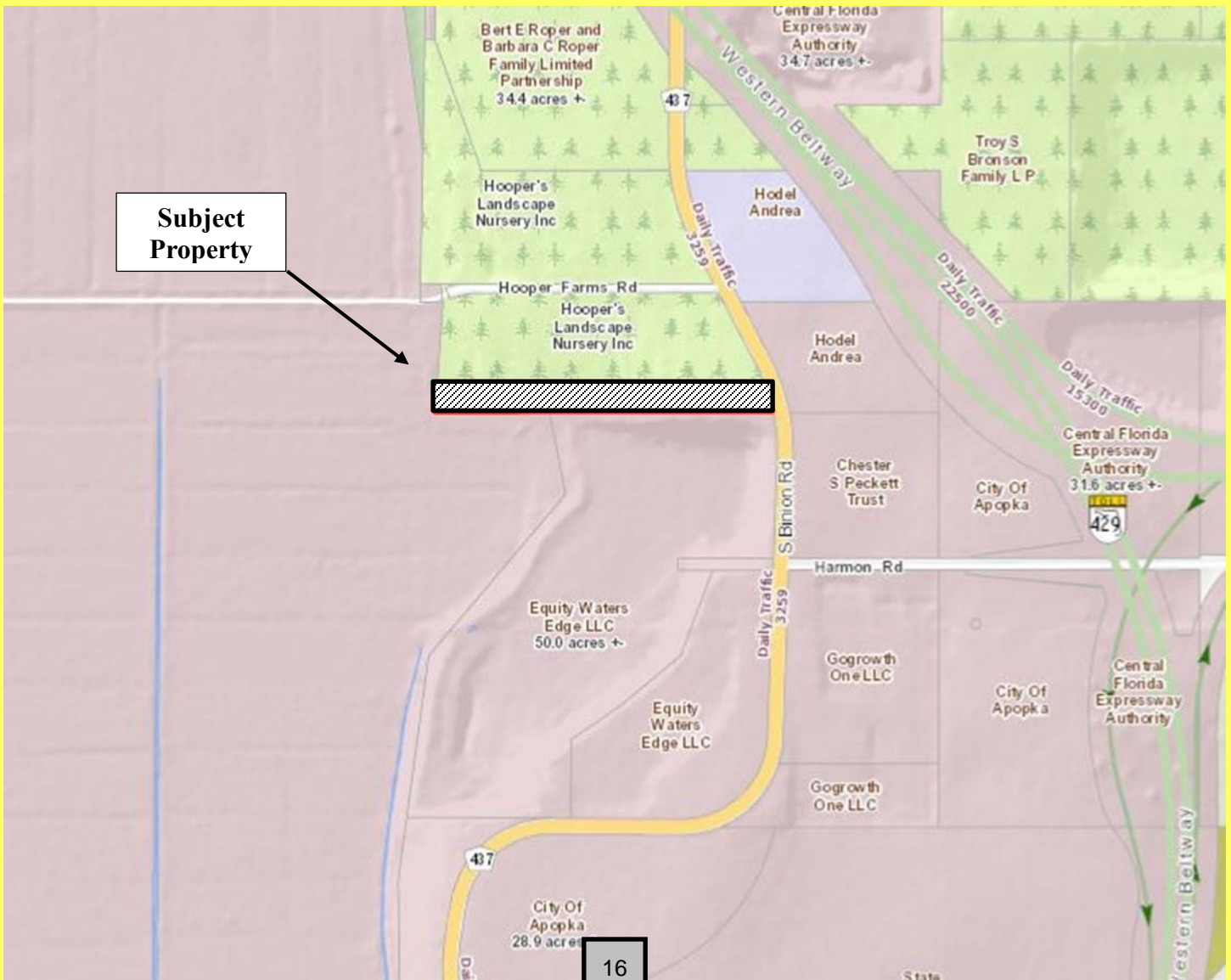
**Proposed Zoning Change**

**From: "County" A-1**

**To: "City" Mixed-EC**

**Parcel ID #: 19-21-28-0000-00-011**

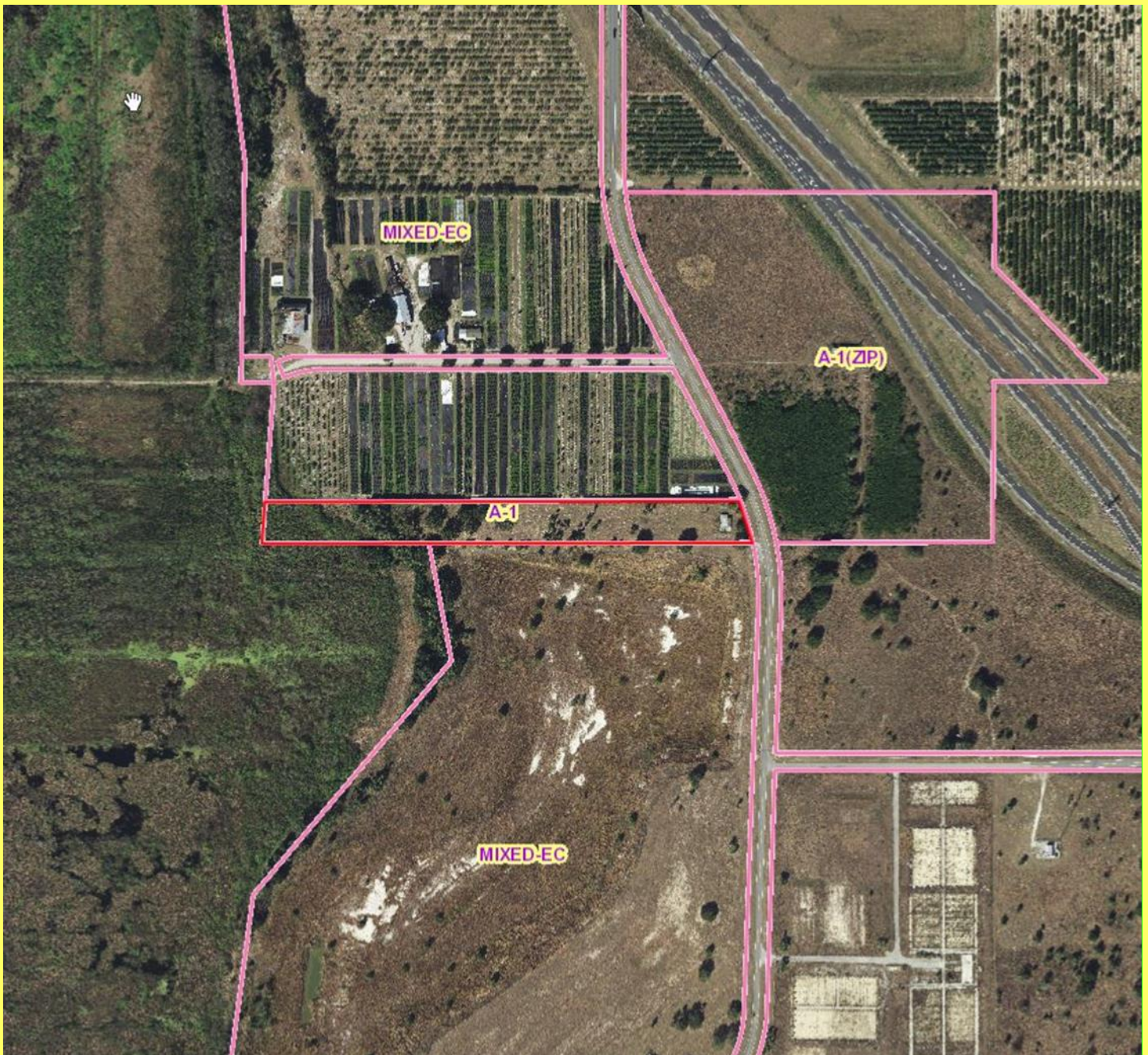
**VICINITY MAP**







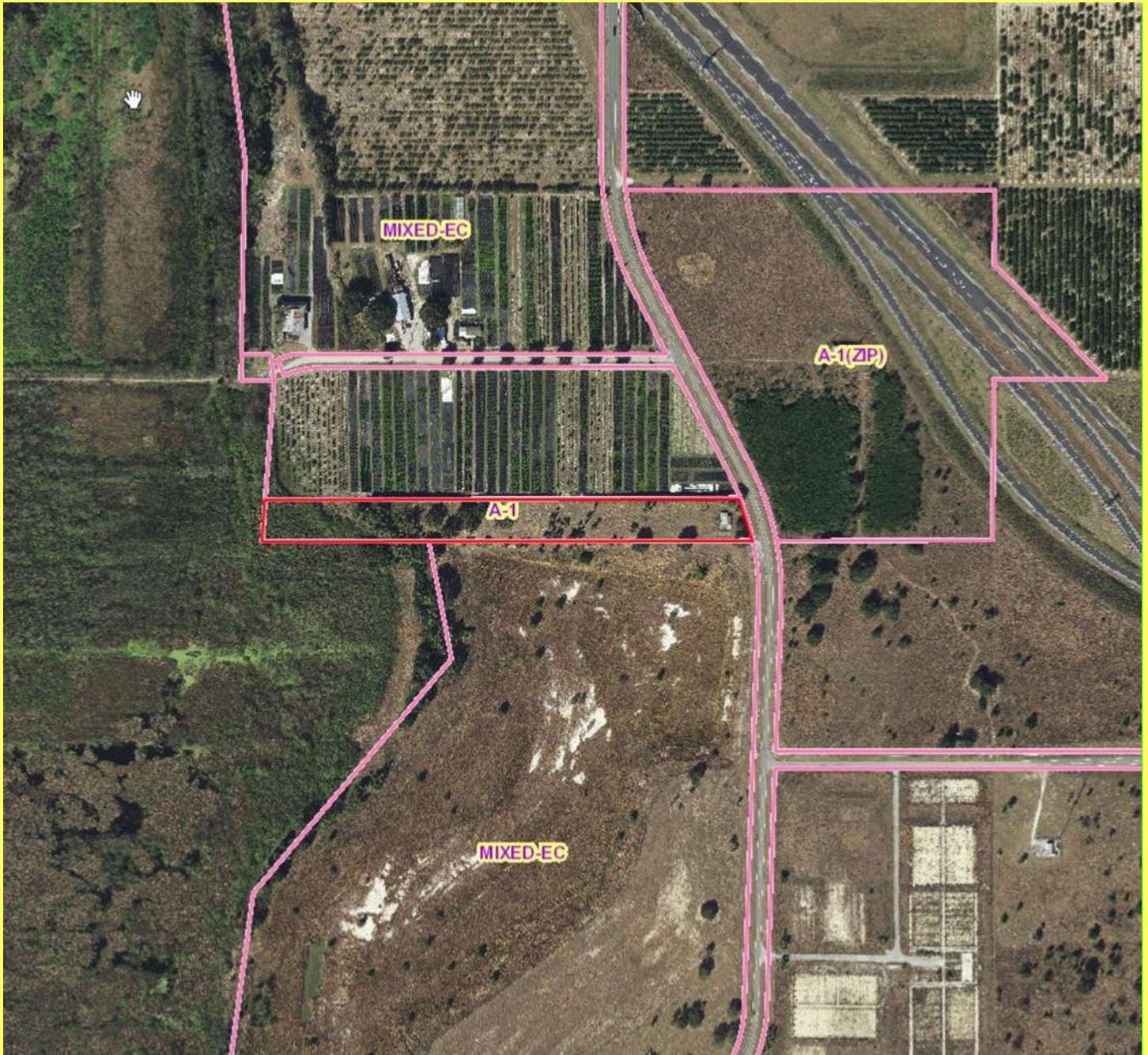
### ADJACENT ZONING







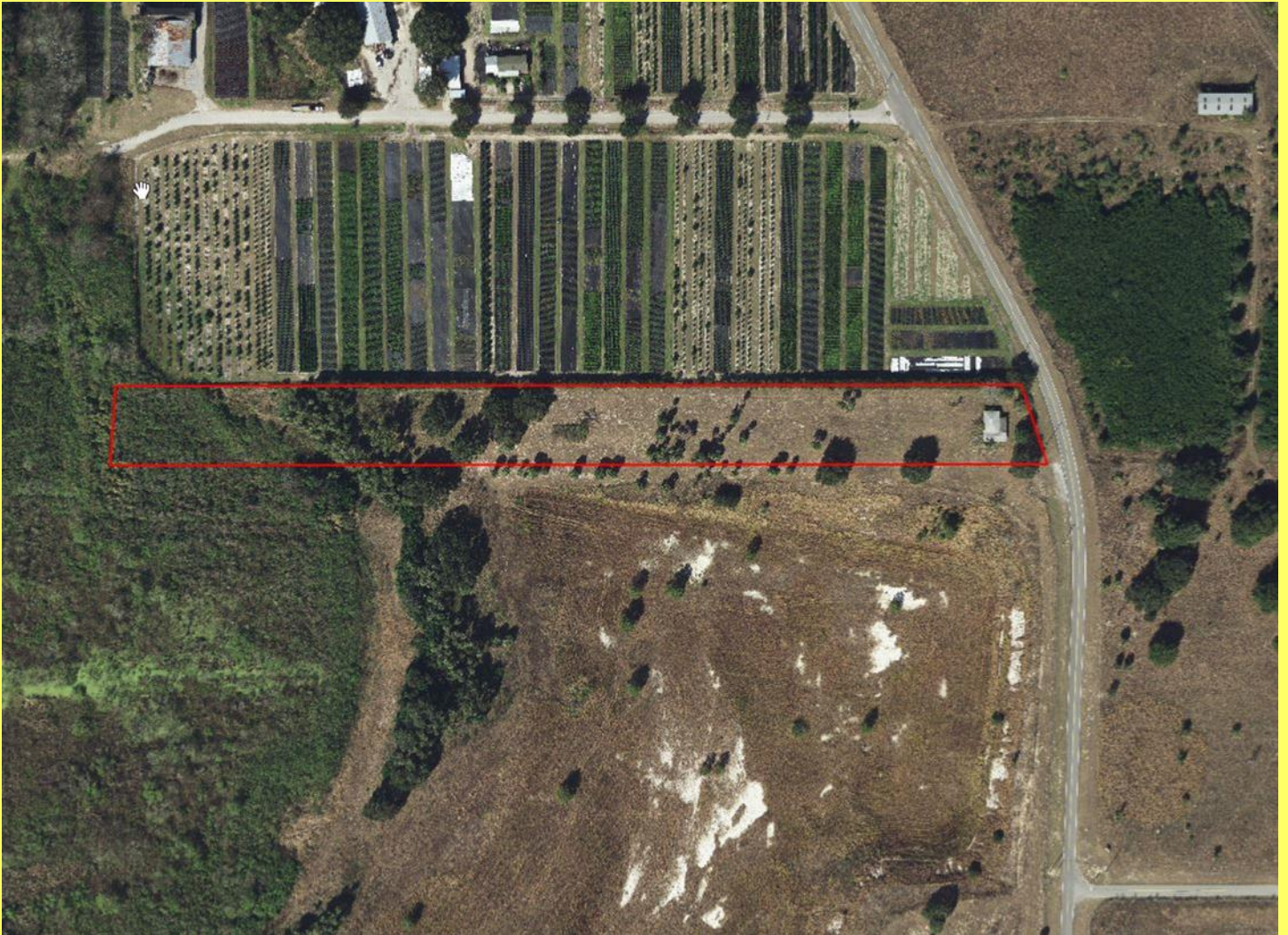
### ADJACENT USES







### EXISTING USES



**Backup material for agenda item:**

2. CHANGE OF ZONING – Owned by Equity Waters Edge, LLC, c/o David Shapiro, from “County” A-1 (Rural) to “City” Mixed-EC (Mixed Use), for property located at 1850 South Binion Road. (Parcel ID #: 19-21-28-0000-00-011)



# CITY OF APOPKA PLANNING COMMISSION

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<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	September 13, 2016
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Land Use Report
<input type="checkbox"/> OTHER:		Vicinity Map
		Adjacent Zoning Map
		Adjacent Uses Map
		Existing Uses
		Small Area Study Map

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**SUBJECT: EQUITY WATERS EDGE, LLC – CHANGE OF ZONING**

**PARCEL ID NUMBER: 19-21-28-0000-00-011**

**Request: CHANGE OF ZONING**  
**FROM: “COUNTY” A-1 (RURAL)**  
**TO: “CITY” MIXED EC (MIXED USE)**

**SUMMARY**

**OWNER/APPLICANT:** Equity Waters Edge, LLC – David Shapiro

**LOCATION:** 1850 S. Binion Road

**EXISTING USE:** Vacant Land

**PROPOSED FLUM DESIGNATION:** Mixed Use (NOTE: This change of zoning application is being processed in conjunction with a small scale FLUM amendment requesting Mixed Use.)

**CURRENT ZONING:** “County” A-1 (ZIP)

**PROPOSED DEVELOPMENT:** City has received a Preliminary Development Plan for a single family residential development.

**TRACT SIZE:** 5.6 +/- acres

**MAXIMUM ALLOWABLE DEVELOPMENT:** EXISTING: vacant; 1 dwelling unit per 10 acres  
PROPOSED: single family residential development consistent with the Mixed-EC zoning district

**DISTRIBUTION**

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	Recreation Director

**ADDITIONAL COMMENTS:** Presently, the subject property has not yet been assigned a “City” Future Land Use Designation or a “City” zoning category. Applicant is requesting the City to assign a future land use designation of Mixed Use to the property.

Applicant is requesting the City to assign a zoning classification of Mixed-EC (Mixed Use) to the property, consistent with the proposed Mixed Use future land use designation.

A request to assign a change of zoning to Mixed-EC (Mixed Use) is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The property owner is requesting the Mixed-EC (Mixed Use) zoning classification to accommodate the use of the property to have the potential to be single family residential. The subject property abuts nurseries along S. Binion Rd. that have a zoning of Mixed-EC. City staff supports this change of zoning request due to the Ocoee Apopka Road Small Area Study results. This change of zoning application is being processed in conjunction with a small scale future land use amendment for Mixed Use. The proposed use is consistent with the proposed future land use, proposed zoning district and compatible with the general character of surrounding zoning and uses.

The change of zoning application covers approximately 5.6 acres.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Zoning Report).

**COMPREHENSIVE PLAN COMPLIANCE:** The proposed use of the property is consistent with the Mixed Use Future Land Use designation and the City’s proposed Mixed Use Zoning. Site development cannot exceed the intensity allowed by the Future Land Use policies.

**SCHOOL CAPACITY REPORT:** No more than nine residential homes will be constructed on the 5.6 acre site. Pursuant to the School Planning Agreement, nine or less residential units is considered a de minimus impact on schools. Therefore, this 5.6 acre site is exempt from School Capacity Enhancement review. However, school concurrency review will occur at the time of a preliminary or final development plan.

**ORANGE COUNTY NOTIFICATION:** The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on August 12, 2016.

**PUBLIC HEARING SCHEDULE:**

September 13, 2016 - Planning Commission (5:30 pm)  
October 5, 2016 - City Council (1:30 pm) - 1st Reading  
October 19, 2016 – City Council (7:00 pm) - 2nd Reading

**DULY ADVERTISED:**

August 26, 2016 – Public Notice and Notification  
October 8, 2016 – ¼ Page w/Map Ordinance Heading Ad

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**RECOMMENDED ACTION:**

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in zoning from County A-1(Agriculture) to Mixed-EC (Mixed Use) for the property owned by Equity Waters Edge, LLC.

**Recommended Motion:** Find the change of zoning to Mixed-EC (Mixed Use) consistent with the Comprehensive Plan and Land Development Code and recommend adoption subject to adoption of the Proposed Future Land Use Designation.

**Note:** This item is considered Quasi-Judicial. The 22 report and its findings are to be incorporated into and made a part of the minutes of this meeting.



**ZONING REPORT**

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Mixed Use	Mixed-EC	Green House
East (City)	Mixed Use	A-1(ZIP)	Vacant
South (City)	Mixed Use	Mixed-EC	Vacant\same property owner
West (County)	Rural/Agricultural (1 du/ 10 ac)	A-2	SJRWMD property\conservation

**LAND USE & TRAFFIC  
 COMPATIBILITY:**

The subject property fronts and is accessed by a local roadway (S. Binion Rd.) and has access to Harmon Rd.

**COMPREHENSIVE  
 PLAN COMPLIANCE:**

The proposed Mixed-EC (Mixed Use) zoning is consistent with the City’s Mixed Use (15 DU/AC) Future Land Use designation and with the character of the surrounding area. The Mixed-EC (Mixed Use) zoning classification is one of the acceptable zoning categories allowed within the proposed Mixed Use Future Land Use Designation. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

**MIXED USE-EC  
 DISTRICT  
 REQUIREMENTS:**

- Floor Area Ratio (%): 25 min. 100 max.
- Minimum Site Area: Not applicable
- Minimum Lot Width: Varies; based on master plan
- Setbacks:
  - Front: 15 ft. (From property line)
  - Rear: 10 ft.
  - Side: 0 ft.
  - Corner 10 ft.

Based on the above zoning standards, the subject parcel does meet code requirements for the Mixed-EC (Mixed Use) district.

**BUFFERYARD  
 REQUIREMENTS:**

Buffer yards shall be consistent with the zoning district for the proposed use, unless otherwise noted in the Mixed-EC zoning district standards. For example, single-family developments shall follow the buffer requirements of the single-family zoning districts, commercial uses shall follow the buffering of the applicable commercial zoning district, etc. Buffers may be waived or varied in mixed-use buildings and projects when compatible uses and appropriate building/parking relationships are demonstrated and strong pedestrian connectivity and well-planned vehicular connectivity are provided.

**ALLOWABLE**

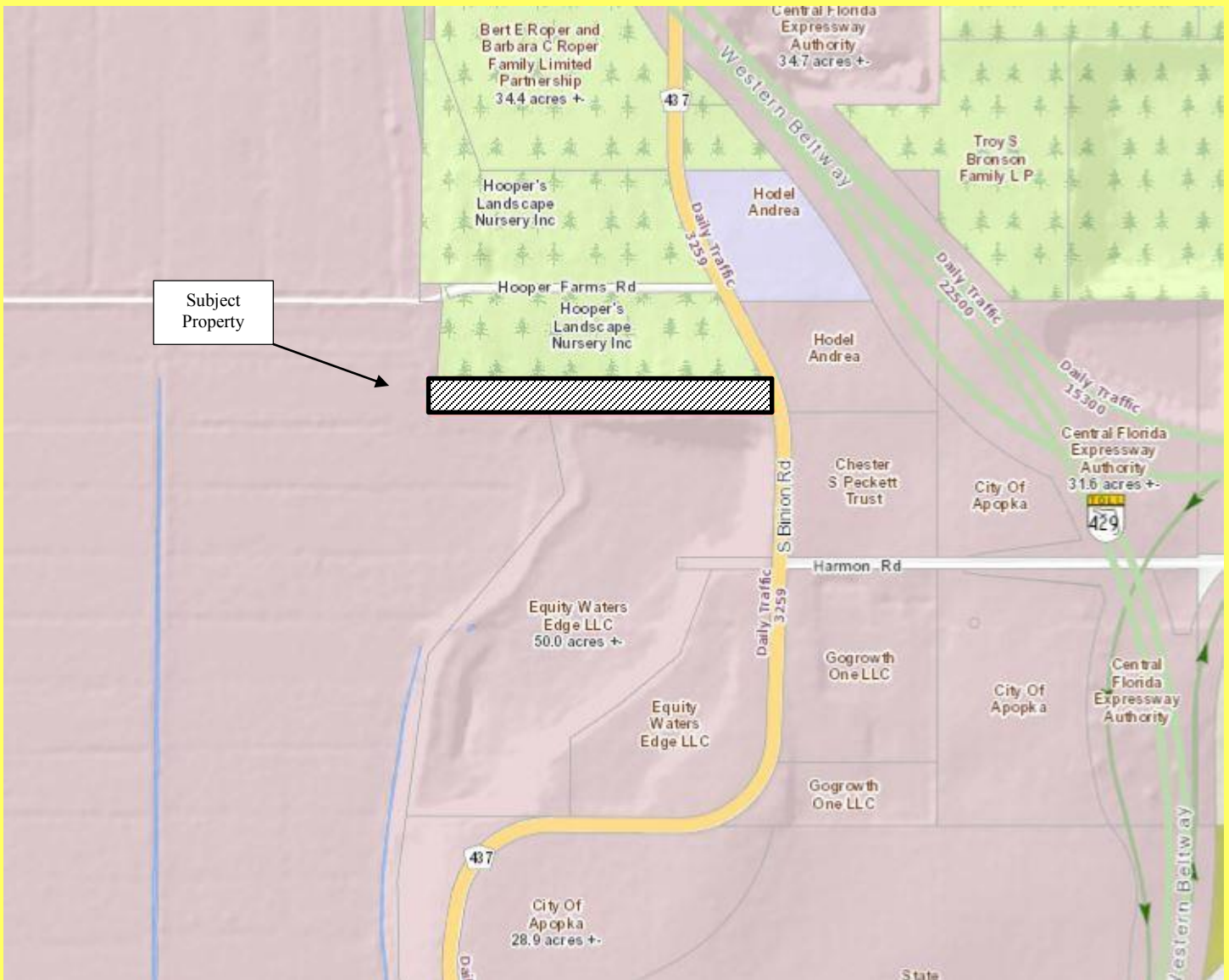
**USES:**

Single-Family detached residential development; duplex; multi-family residential; commercial, office, industrial, and institutional uses subject to the intensities, development standards, and land use mix criteria set forth of the Mixed-EC zoning district.



**EQUITY WATERS EDGE, LLC**  
**Property Owner**  
**5.6 +/- acres**  
**Proposed Small Scale Future Land Use Amendment:**  
**From: "County" Rural/Agricultural (1 du/10 ac)**  
**To: "City" Mixed Use**  
**Proposed Change of Zoning:**  
**From: "County" A-1**  
**To: "City" Mixed-EC**  
**Parcel ID #s: 19-21-28-0000-00-011**

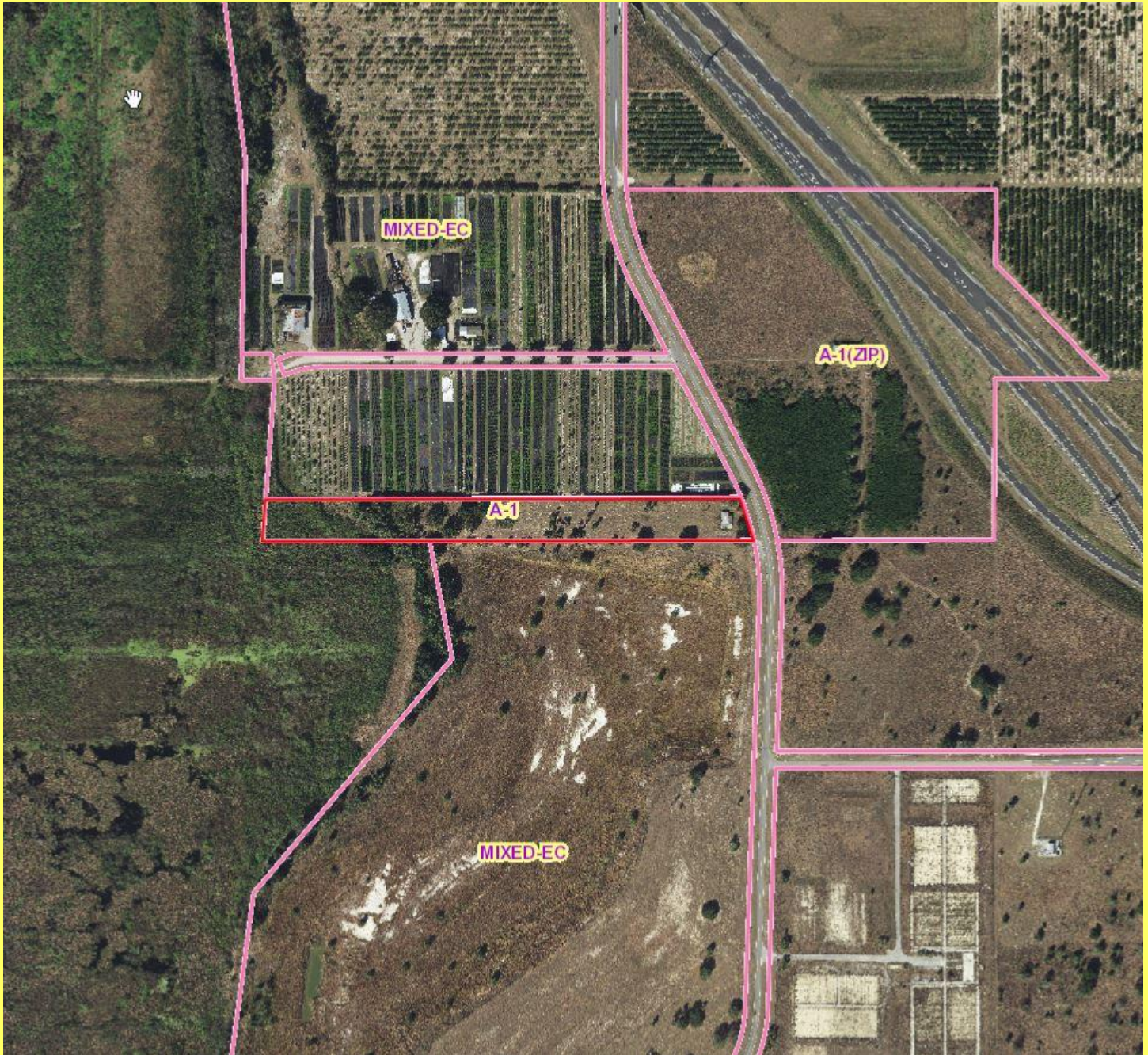
### VICINITY MAP







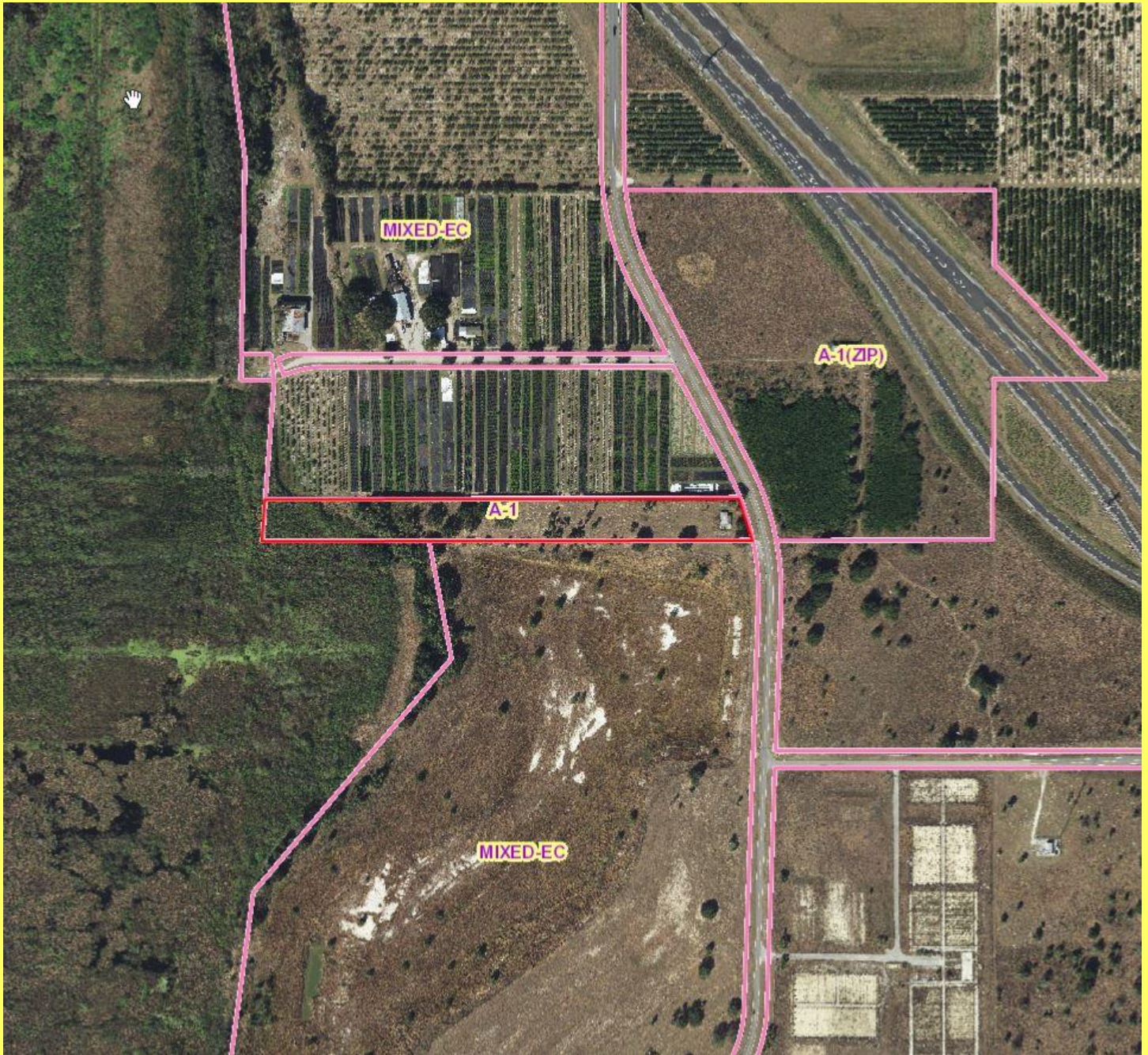
### ADJACENT ZONING







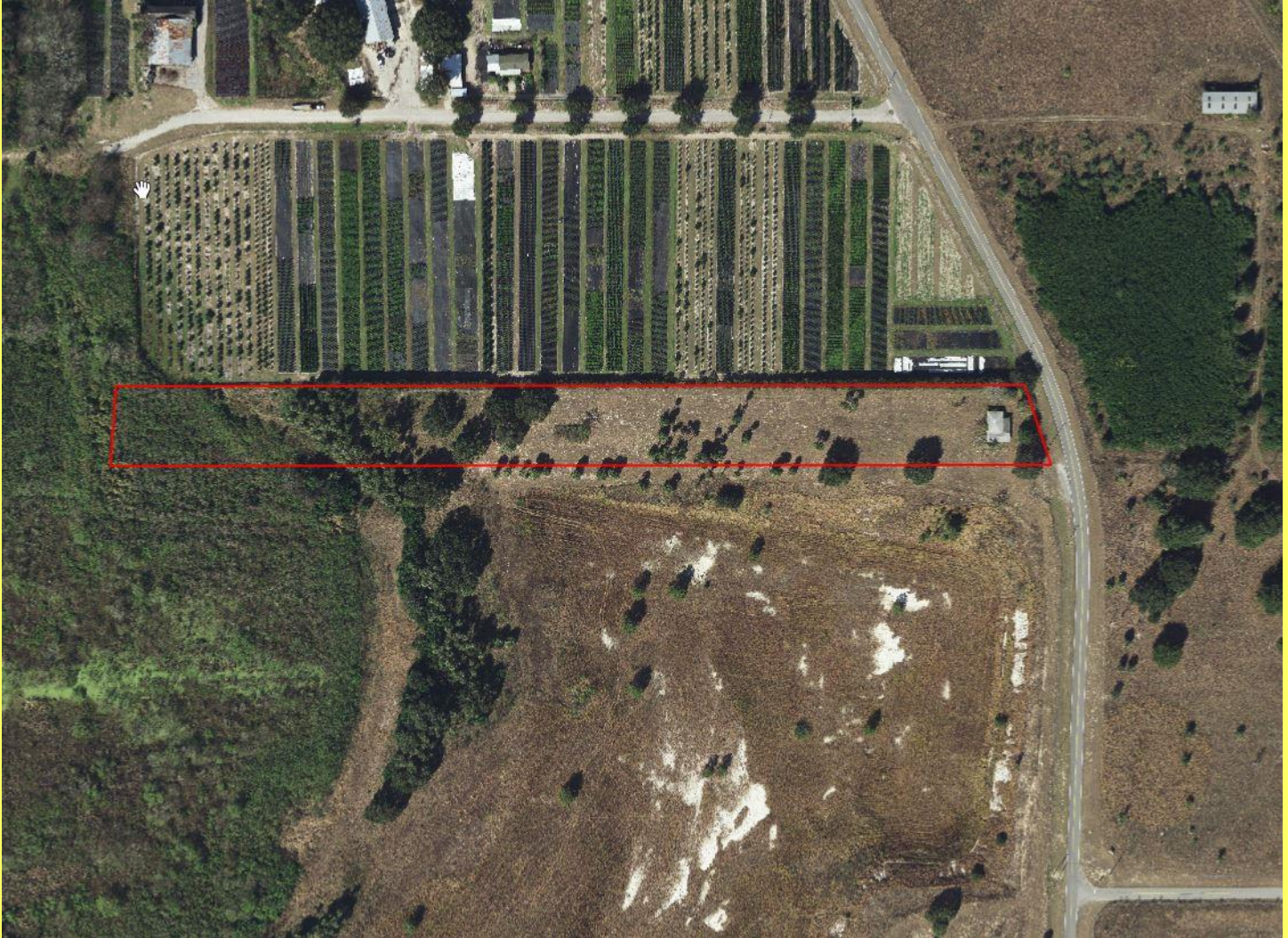
### ADJACENT USES







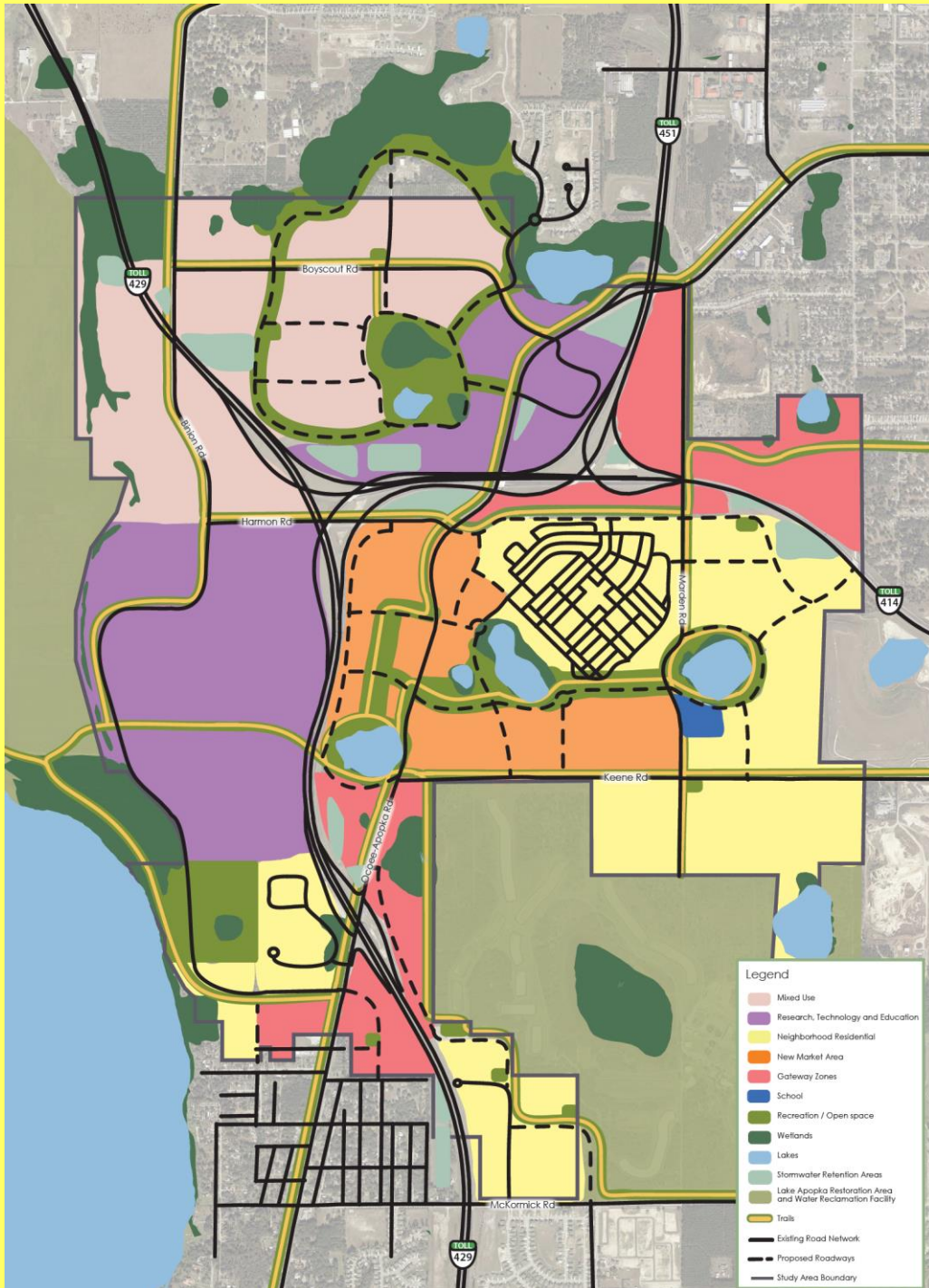
### EXISTING USES







# OCOEE APOPKA ROAD SMALL AREA STUDY CONCEPTUAL LAND USE MAP



**Backup material for agenda item:**

3. MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN AMENDMENT – Robert K. Dunn, Et. Al., for property located north of Old Dixie Highway, east of Richard L. Mark Drive, and south of Errol Parkway. (Parcel ID #s: 05-21-28-0000-00-019, 05-21-28-0000-00-034, 05-21-28-0000-00-035 & 05-21-28-0000-00-041)



CITY OF APOPKA
PLANNING COMMISSION

X PUBLIC HEARING
ANNEXATION
PLAT APPROVAL
OTHER:
DATE: September 13, 2016
FROM: Community Development
EXHIBITS: Land Use Report
Vicinity Map
Adjacent Zoning and Uses Maps
Amended Master Site Plan/PDP
Amended Building Elevations
Current Approved Master Plan/PDP
Ordinance 2355\Approved PUD

SUBJECT: AMMENDMENT TO DUNN\DIXIE MANOR PUD ZONING AND ASSISTED LIVING FACILITY PUD MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN

PARCEL ID NUMBERS: 05-21-28-0000-00-019, 05-21-28-0000-00-034, 05-21-28-0000-00-035, AND 05-21-28-0000-00-041

- Requests: 1. AMENDMENT TO THE DUNNDIXIE MANOR PUD ZONING AND ASSISTED LIVING FACILITY PUD MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN TO INCREASE MAXIMUM FLOOR AREA RATIO FROM 0.25 TO 0.30.
2. RECOMMEND APPROVAL OF THE MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN

SUMMARY

OWNER\APPLICANT: Robert K. Dunn, et al
ENGINEER: Haskell Company
LOCATION: North of Old Dixie Highway, east of Richard L. Mark Drive, and south of Errol Parkway
EXISTING USE: Vacant Land
CURRENT ZONING: PUD
PROPOSED DEVELOPMENT: Assisted Living Facility (ALF) with maximum 125-bed facility within a two and one story building with a maximum floor area ratio of .030
PROPOSED AMENDMENT: Increase maximum floor area ratio from 0.25 to 0.30.
TRACT SIZE: 6.99 +/- acres
MAXIMUM ALLOWABLE DEVELOPMENT: Current: 76,121 Proposed: 91,345

DISTRIBUTION

Mayor Kilsheimer
Commissioners (4)
City Administrator Irby
Community Dev. Director
Finance Director
HR Director
IT Director
Police Chief
Public Ser. Director
City Clerk
Fire Chief
Recreation Director

**ADDITIONAL COMMENTS:** On April 14, 2014 through Ordinance 2355, City Council adopted a Planned Unit Development zoning and a Master Plan\Preliminary Development Plan for the Robert K. Dunn et.al. property. The PUD master plan establishes a maximum floor area ratio of 0.25, which allows for building (s) with a maximum floor area of 76,121 square feet, for a proposed Assisted Living Facility (ALF) with up to 125 beds. A proposed ALF is similar to uses allowed with the Professional Office\Institutional zoning district, which allows a maximum floor area ratio of 0.30 for buildings. The original building proposed for the applicant was only 76,000 sq. ft., which represents a floor area ratio of 0.25 for this property. Thus, the applicant requested a 0.25 FAR instead of a 0.30 floor area ratio allowed by the Professional Office\Institutional zoning district. The building proposed by the applicant, as presented in architectural renderings and within the proposed Master Plan, contains approximately 87,000 sq. ft. floor area. Although the proposed building has more floor area than the previously approved Master Plan, the maximum number of beds – 125 beds – does not change. All the other development standards approved within the current PUD zoning and Master Plan\Preliminary Development Plan remain the same.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Zoning Report).

**COMPREHENSIVE PLAN COMPLIANCE:** Planning staff finds the proposed amendment to the Planned Unit Development to be consistent with the Comprehensive Plan and Land Development Code.

**SCHOOL CAPACITY REPORT:** The amendment to the Planned Unit Development will not impact capacity at affected public schools. If the property owner proposes residential development, then school capacity review will be required as part of the PUD amendment application.

**ORANGE COUNTY NOTIFICATION:** The property is surrounded by properties that are within the City limits of Apopka; therefore the notice requirements in the JPA do not apply.

**PUBLIC HEARING SCHEDULE:**

September 13, 2016 – Planning Commission (5:01 pm)  
September 21, 2016 – City Council (7:00 pm) - 1<sup>st</sup> Reading  
October 5, 2016 – City Council (1:30 pm) - 2<sup>nd</sup> Reading

**DULY ADVERTISED:**

August 26, 2016 – Public Notice and Notification  
September 13, 2016 – Ordinance Heading Ad

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**RECOMMENDED ACTION:**

The **Development Review Committee** finds the proposed amendment to the Dunn\Dixie Manor PUD zoning and Master Plan\Preliminary Development Plan to be consistent with the Comprehensive Plan and Land Development Code recommends approval of the amendment to the Planned Unit Development zoning and Master Plan\Preliminary Development Plan.

**Recommended Motion:** Recommend to finds the proposed amendment to the Dunn\Dixie Manor PUD zoning and Master Plan\Preliminary Development Plan to be consistent with the Comprehensive Plan and Land Development Code recommends approval of the amendment to the Planned Unit Development zoning and Master Plan\Preliminary Development Plan.

**Planning Commission Role:** Recommend to approve, deny, or approve with conditions.

**Note:** This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting. Role of the Planning Commission in this case is advisory to the City Council.

**ZONING REPORT**

**I. RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low (0-5 du/ac)	PUD	Parkside at Errol, Ph. 3
East (City)	Residential Low (0-5 du/ac)	PUD	Parkside at Errol, Ph. 3
South (City)	Commercial	C-1	Lowes Home Retail Center
West (City)	Parks/Recreation\Residential Low (0-5 du/ac)	PR/PUD	Vacant wooded parcel; Villa Capri
North (City)	Residential Low (0-5 du/ac)	PUD	Parkside at Errol, Ph. 3

**LAND USE & TRAFFIC COMPATIBILITY:**

- South: Old Dixie Highway, a two-lane collector road, lies to the south of the subject property and the Lowes Home Retail Center. The land south of Old Dixie Highway is assigned a Commercial future land use designation and a zoning category of C-1.
- West: Across Richard L. Mark Drive is a 1.4 acre heavily wooded parcel covered by oak trees. This parcel is owned by the City of Apopka and assigned a Park\Recreation future land use and zoning category that serves as open space. At the northwest corner of the subject property is the Villa Capri residential community. Villa Capri is assigned PUD zoning as part of the Errol Estate community. The typical lot is 51 feet wide with a typical area of about 5,700 sq. ft. Along the east side of Villa Capri is a ten-foot wide five to six foot high masonry wall. The right-of-way for Richard L. Marks Drive is 100 foot wide with landscaping and mature oak trees bordering the road. There is a twenty (20) foot wide landscaped median that contains mature oak trees.
- North: To the north of the subject property, a 1.76 acre retention pond separates the subject property from most of the residential homes to the north within the Parkside at Errol Phase 3 residential subdivision. With the exception of one single family lot at the subject property’s northwest corner and one single family lot at the northeast corner. Residential lots to the north range from 300 feet to zero feet from the subject property. Lots typically are 80 to 85 feet wide with a typical lot size ranging from 9,200 sq. ft. to 11,050 sq. ft.
- East: There is a ten foot wide landscape buffer that runs along the eastern parcel line of the subject property that is adjacent to residential lots within another section of Parkside at Errol Phase 3. Single family lots adjacent to the eastern side of the subject property have typical lots with a 75 foot minimum width and a lot size ranging from 9,200 sq. ft. to 11,000 sq. ft.
- Summary: The property owner requests assignment of a zoning category that is consistent with the proposed Residential Medium Future Land Use Designation. Planning staff finds the zoning category to be consistent a Residential Low-Medium Future Land Use Designation subject to the PUD master site plan/preliminary development plan and the recommended PUD development standards.



**COMPREHENSIVE  
PLAN COMPLIANCE:**

The proposed Planned Unit Development (PUD/R-3) zoning is not consistent with the City’s Residential Medium (0-10 du/ac) Future Land Use designation. However, Planning staff finds the proposed zoning to be compatible with a Low-Medium (0-7.5 du/ac) Future Land Use designation. Development Plans shall not exceed the intensity or density allowed for the adopted Future Land Use Designation.

**PUD  
RECOMMENDATIONS:**

The PUD recommendation is to assign a zoning classification of Planned Unit Development (PUD) for the described subject property with the following Master Plan provisions is subject to the following zoning provisions:

A. The uses permitted within the PUD district shall be:

1. A maximum of one-hundred twenty-five Assisted Living Facility (ALF) beds or 38 permanent residential. For any Assisted Living Facility, such use shall meet the State of Florida definition for an Assisted Living Facility, at least eight (80) percent of the beds shall be occupied by those age 55 or over, and the ALF shall follow a policy that demonstrates an intent to provide residential care for those aged 55 or older. A nursing home, group home facility, foster home, drug or alcohol detox center or rehabilitation center or similar emergency shelter are not permissible uses under this PUD zoning ordinance unless as otherwise superseded by Florida Statutes.
2. Any building other than single family residential shall be setback a minimum of one hundred (100) feet from the northern and eastern property line, units and fifty (50) feet from the western property line.
3. Outdoor storage shall not be allowed.
4. No recreation or similar outdoor activities (walking path, gathering places etc.) shall occur within twenty (20) feet of the property line excepting any public sidewalk along Old Dixie Highway.
5. No outdoor activities shall occur after 9:00 PM or before 7:00 AM. Delivery services for shall be limited to similar hours.
6. Regular visitor hours shall be limited to no earlier than 7:00 AM and not later than 11:00 PM except for emergency purposes.
7. Any use or activity allowed within the R-3 residential zoning category exception as otherwise noted herein. Duplex residential units shall not be allowed.

B. Development Standards:

1. Development standards and setbacks shall comply with those established for the R-3 zoning category unless otherwise approved herein or within the Master Site Plan.
2. Maximum number of stories: two (2)



3. A thirty (30) foot landscape buffer shall occur along the northern and eastern property lines, and a fifteen (15) foot landscape buffer along the western property line.
  4. Monument sign (identification sign) shall be limited to no more than 24 square feet and no electronic reader board will be allowed. The monument sign may be placed within the front yard along Old Dixie Highway near the site driveway entrance. No signage shall be allowed along Richard L. Mark Drive. No wall sign or other signage will be allowed except for on-site directional signage, unless otherwise allowed by the City's sign codes for special event or grand opening.
  5. No outdoor illumination shall spillover into residential areas.
  6. All trees and landscaping within the perimeter buffers shall be allowed to grow and will be maintained to a height to screen the ALF building from adjacent residential areas.
  7. Architectural design of the building shall be generally consistent with that approved with the PUD ordinance unless otherwise approved by the City Council.
  8. Changes to the Master Site Plan\Preliminary Development Plan or architectural design considered to be insignificant may be approved by the Community Development Director.
  9. Employee parking shall occur at the southwest parking area and visitor parking directed to the southeast parking area. On-site direction signage shall be posted to direct visitor parking as such.
  10. Driveway access to Richard L. Mark Drive will not be allowed.
- C. The Master Plan Site\Preliminary Development Plan is hereby approved and is part of the PUD zoning ordinance.
- D. The R-3 zoning standards shall apply to the development of the subject property unless as otherwise addressed within the PUD ordinance.

**COMPREHENSIVE  
PLAN COMPLIANCE:**

The proposed City PUD zoning is not consistent with the City's Residential Medium (0-10 du/ac) Future Land Use designation. However, DRC finds that the proposed PUD zoning is consistent with the residential Low-Medium (0-7.5 un/ac) Future Land Use designation. Development Plans shall not exceed the density and intensity allowed in the adopted Future Land Use Designation.

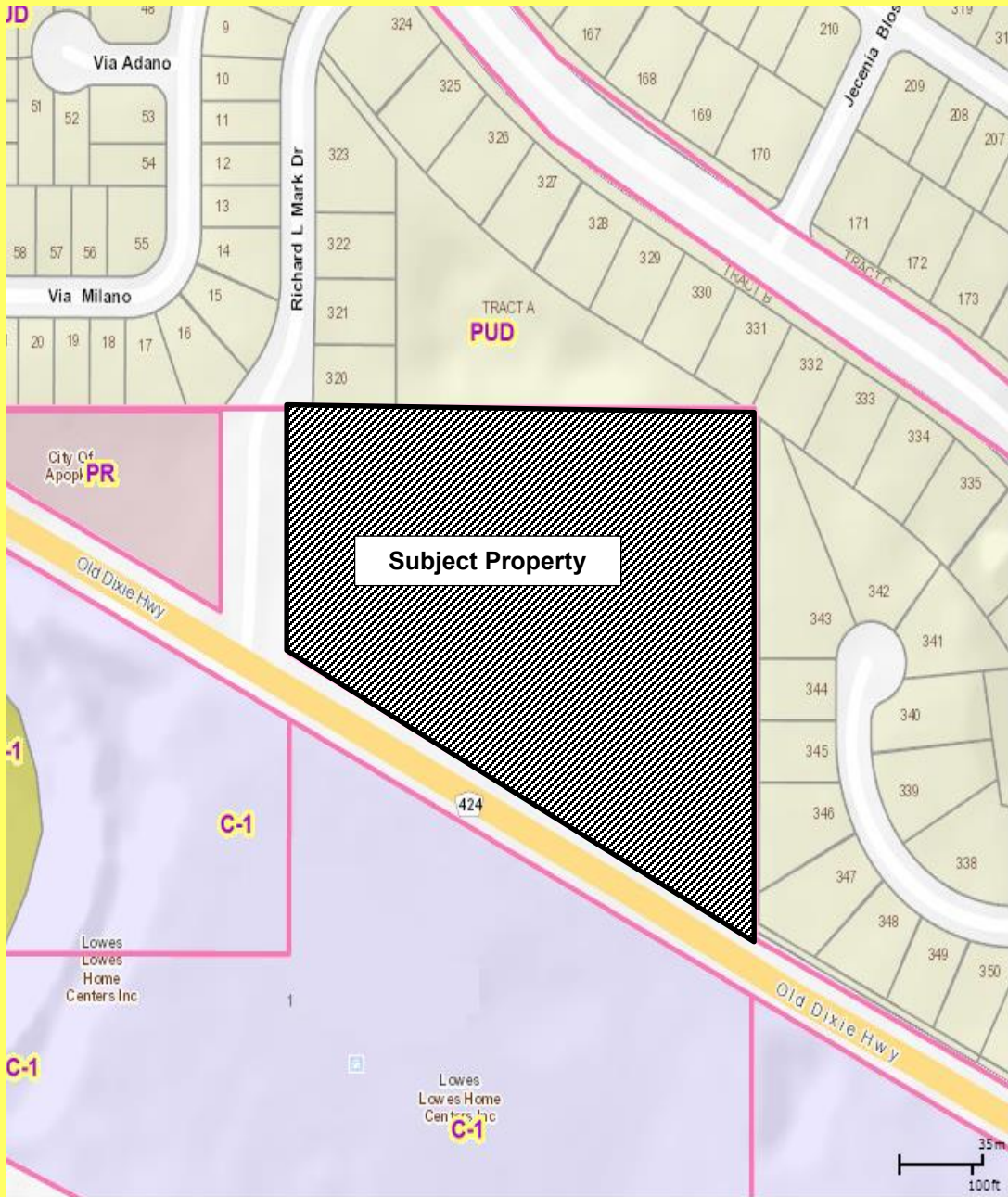
**Robert K. Dunn et al**  
**6.98 +/- Acres**  
**Existing Maximum Allowable Development: .25 FAR**  
**Proposed Maximum Allowable Development: .30 FAR**  
**Request: Amendment to an Existing PUD Master Plan**  
**Parcel ID #s: 05-21-28-0000-00-019, 05-21-28-0000-00-034,**  
**05-21-28-0000-00-035, 05-21-28-0000-00-041**



### VICINITY MAP



ADJACENT ZONING





ADJACENT USES



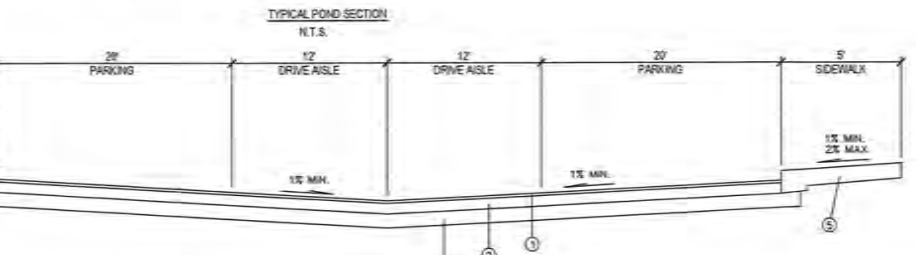
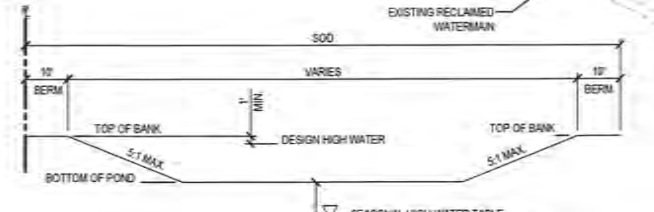
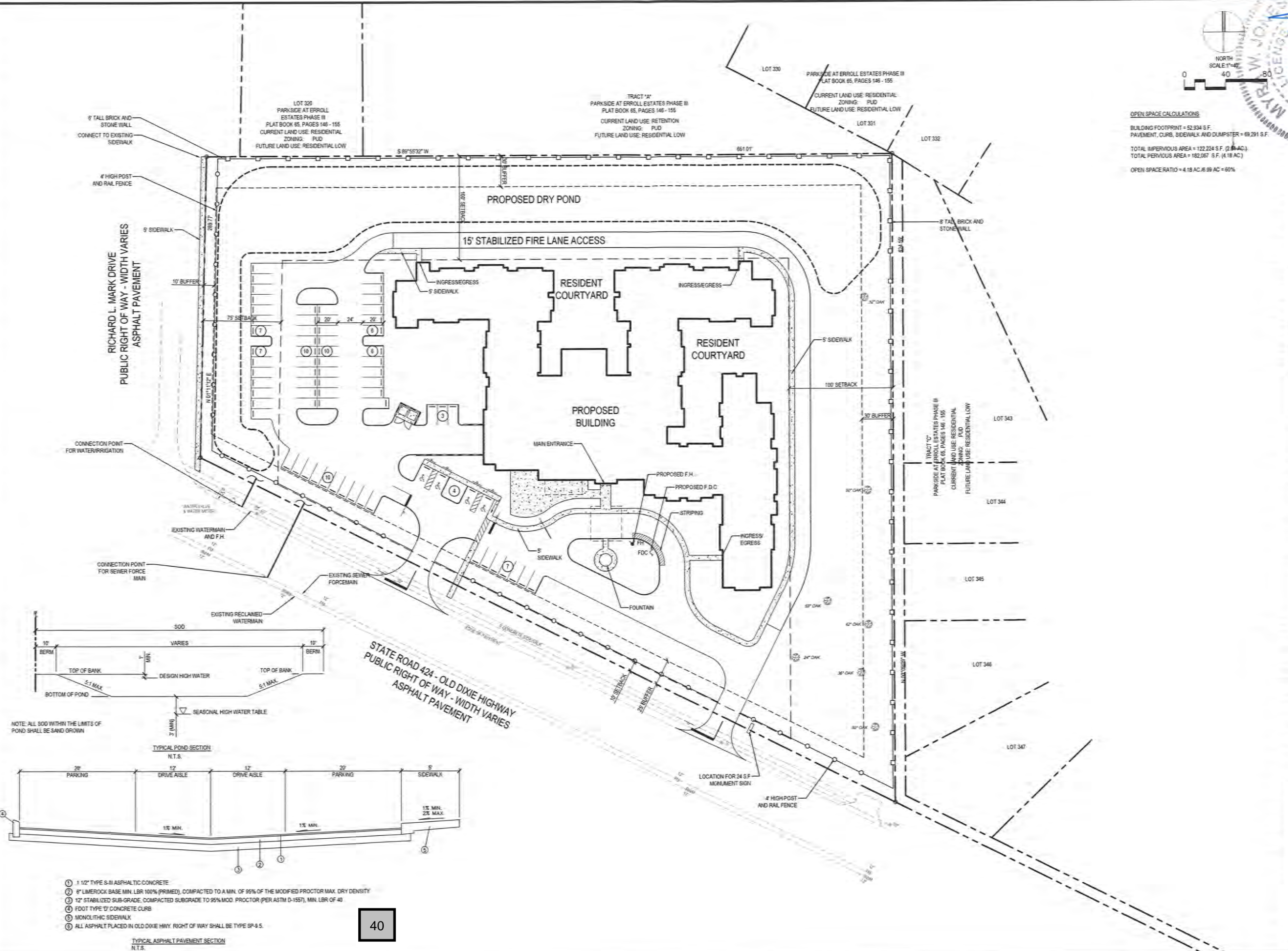








**OPEN SPACE CALCULATIONS**  
 BUILDING FOOTPRINT = 52,534 S.F.  
 PAVEMENT, CURB, SIDEWALK AND DUMPSTER = 69,291 S.F.  
 TOTAL IMPERVIOUS AREA = 122,224 S.F. (2.8 AC)  
 TOTAL PERVIOUS AREA = 182,067 S.F. (4.18 AC)  
 OPEN SPACE RATIO = 4.18 AC / 9.9 AC = 60%



- ① 1 1/2" TYPE S-II ASPHALTIC CONCRETE
- ② 6" LIMEROCK BASE MIN. LBR 100% (PRIMED), COMPACTED TO A MIN. OF 95% OF THE MODIFIED PROCTOR MAX. DRY DENSITY
- ③ 12" STABILIZED SUB-GRADE, COMPACTED SUBGRADE TO 95% MOD. PROCTOR (PER ASTM D-1557), MIN. LBR OF 40
- ④ FOOT TYPE 17 CONCRETE CURB
- ⑤ MONOLITHIC SIDEWALK
- ⑥ ALL ASPHALT PLACED IN OLD DIXIE HWY. RIGHT OF WAY SHALL BE TYPE SP-5.5

XREF: THCC2436-MJM-ARCH-1-000 [L:\GHP\Projects\42000\Centerwood Manor Assisted Living\201 Design\20 AutoCAD\THCC2436-MJM-ARCH-1-000.dwg]  
 XREF: 42000201CM-B1 [L:\GHP\Projects\42000\Centerwood Manor Assisted Living\201 Design\20 AutoCAD\42000201CM-B1.dwg]  
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 XREF: 42000201CM-29 [L:\GHP\Projects\42000\Centerwood Manor Assisted Living\201 Design\20 AutoCAD\42000201CM-29.dwg]

**HASKELL ARCHITECTS and ENGINEERS, P.A.**  
 FLORIDA - Architecture # AA28000847 Engineering # 26864

**HASKELL**

CANTERWOOD MANOR AT APOPKA  
**MJM ASSOCIATES**  
 1791 STATE ROAD 424, APOPKA, FL 32712

No.	DESCRIPTION	DATE
	PRELIM DRC 2	08/11/16
	PRELIM DRC	07/28/16

We hereby expressly reserve the property rights in this drawing and it is not to be reproduced, copied in any format or manner whatsoever without first obtaining our express written permission and consent.

DRAWN BY: MWJ	CHECKED BY: MWJ
AC JOB NUMBER 42000201	
<b>MASTER SITE PLAN</b>	
<b>C-100</b> SHEET NUMBER	

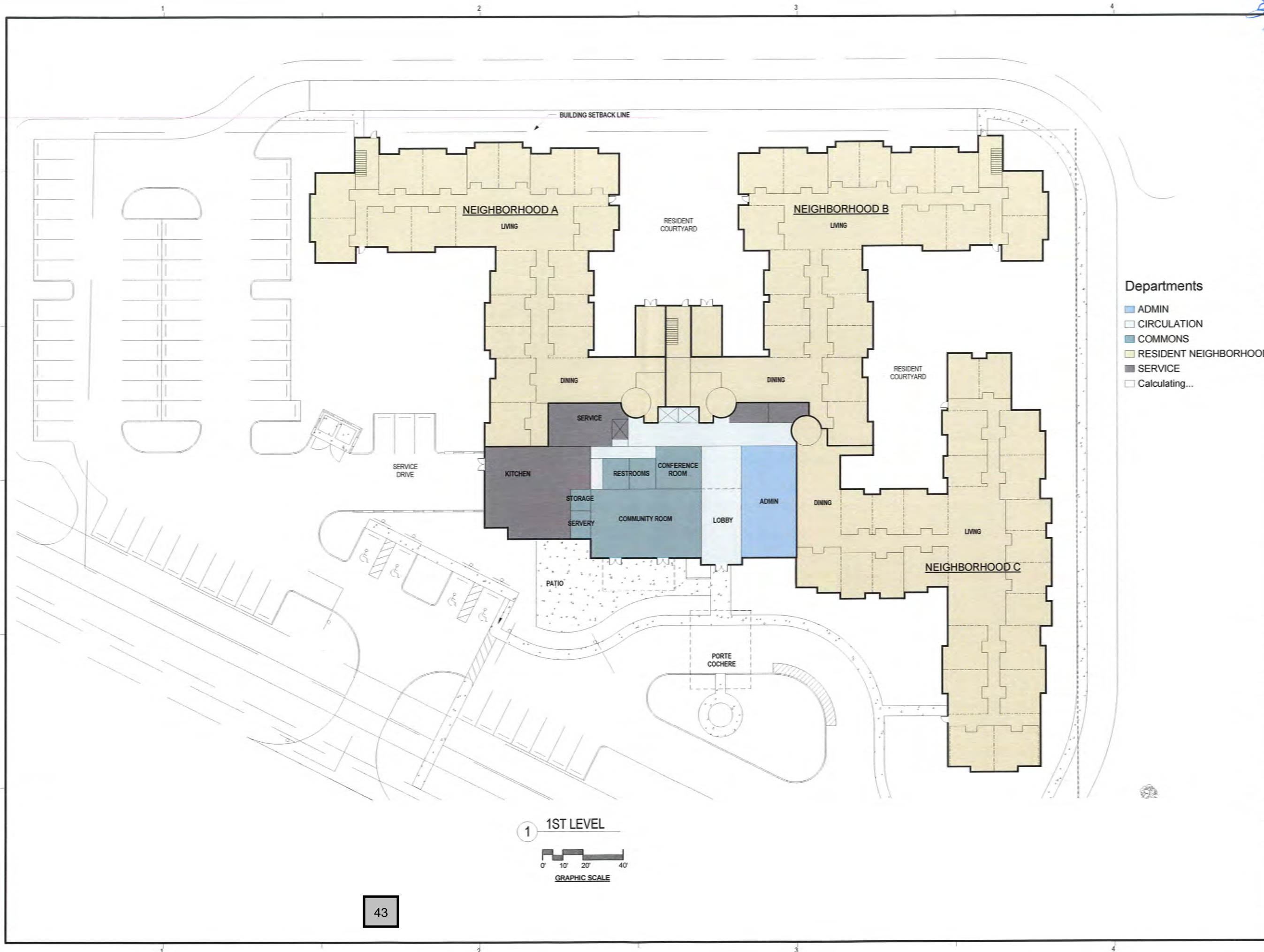




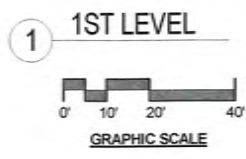








- Departments**
- ADMIN
  - CIRCULATION
  - COMMONS
  - RESIDENT NEIGHBORHOOD
  - SERVICE
  - Calculating...



43

HASKELL ARCHITECTS and ENGINEERS, P.A.  
 FLORIDA - Architecture # AA26000847 Engineering # 26064  
 111 Riverside Avenue  
 Jacksonville, Florida 32202  
 Phone # (904) 791-4800

HASKELL

CANTERWOOD MANOR AT APOPKA  
**MJM ASSOCIATES**  
 1791 STATE ROAD 424, APOPKA, FL 32712

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

2 PRELIM DRC 2 8/11/16	9/11/16
1 PRELIM DRC 1 10/1/16	10/1/16
No DESCRIPTION DATE	DATE

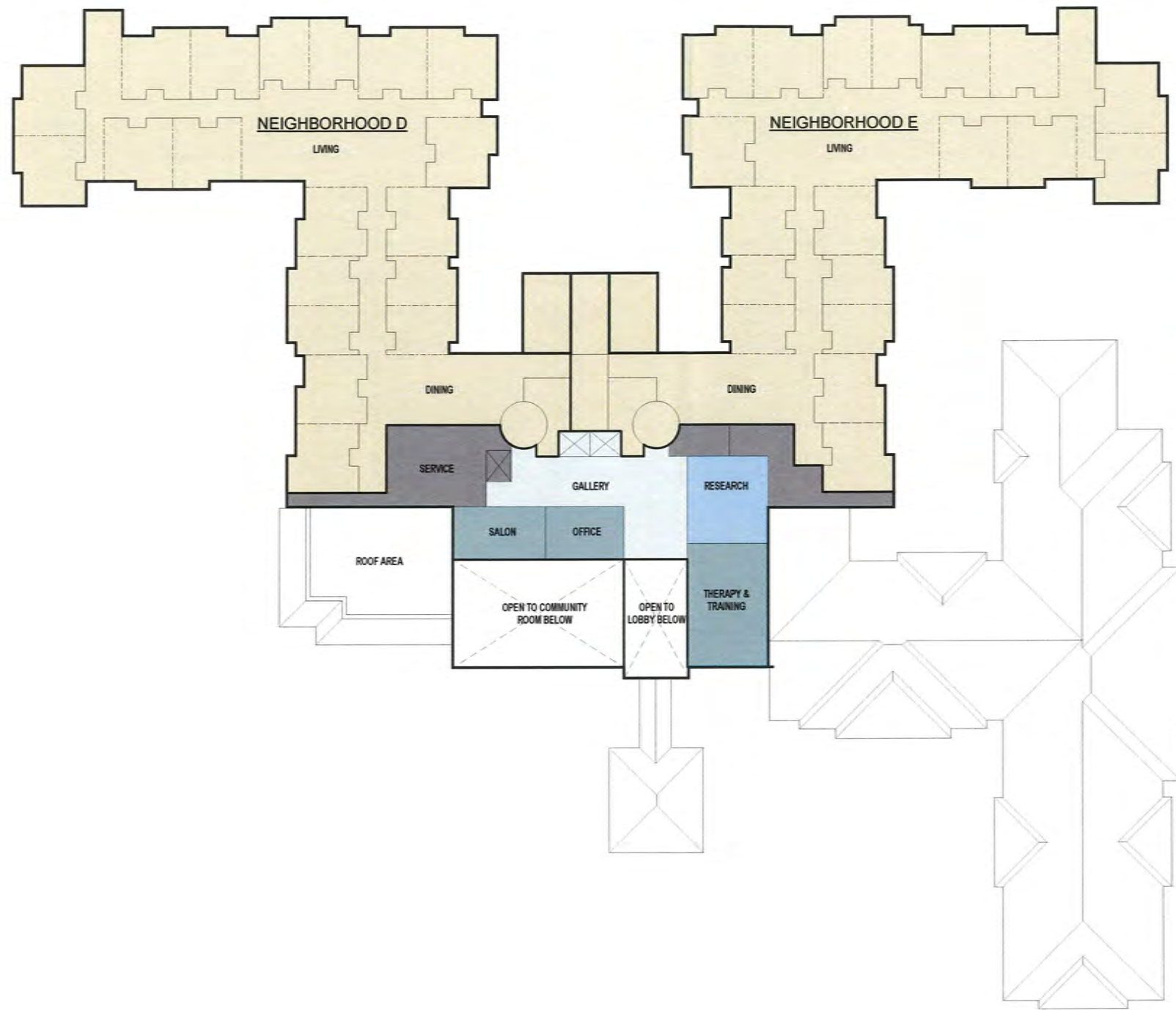
We hereby expressly reserve the property rights to this drawing and it is not to be reproduced, copied in any format or manner whatsoever without first obtaining our express written permission and consent.

DRAWN	CHECKED
Author	Checker
AE JOB NUMBER	
42000201	

1ST FLOOR

A110

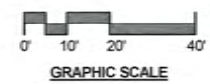
SHEET NUMBER



Departments

- ADMIN
- CIRCULATION
- COMMONS
- RESIDENT NEIGHBORHOOD
- SERVICE

1 2ND LEVEL  
1" = 20'-0"



44

11/13/15  
11/13/15  
11/13/15

**HASKELL ARCHITECTS and ENGINEERS, P.A.**  
FLORIDA - Architecture # AA20000947 Engineering # 20064

111 Riverside Avenue  
Jacksonville, Florida 32202  
Phone # (904) 791-4000

**HASKELL**

CANTERWOOD MANOR AT APOPKA  
**MJM ASSOCIATES**  
1791 STATE ROAD 404, APOPKA, FL 32712

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

No.	DESCRIPTION	DATE
2	PRELIM DRC 2	8/11/15
1	PRELIM DRC 1	7/29/15

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DRAWN	CHECKED
Author	Checker

AE JOB NUMBER  
42000201

2ND FLOOR

**A120**  
SHEET NUMBER





OVERALL BUILDING ELEVATION - NORTH



OVERALL BUILDING ELEVATION - EAST



OVERALL BUILDING ELEVATION - WEST



OVERALL BUILDING ELEVATION - SOUTH



ENLARGED BUILDING ELEVATION - SOUTH

HASKELL ARCHITECTS and ENGINEERS, P.A.  
 PROJECT ARCHITECT  
 111 Riverside Avenue  
 Jacksonville, Florida 32202  
 Phone # (904) 761-4500

**HASKELL ARCHITECTS and ENGINEERS, P.A.**  
 FLORIDA - Architecture # AA26000847 Engineering # 26004



CANTERWOOD MANOR AT APOPKA  
**MJM ASSOCIATES**  
 1791 STATE ROAD 124, APOPKA, FL 32712

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

2	PRELIM DRC 2	8/11/15
1	PRELIM DRC	7/28/15
No.	DESCRIPTION	DATE

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DRAWN	CHECKED
MEL	MEL

AE JOB NUMBER  
42000201

Elevations

**A200**  
SHEET NUMBER





OVERALL BUILDING ELEVATION - NORTH



OVERALL BUILDING ELEVATION - EAST



OVERALL BUILDING ELEVATION - WEST



OVERALL BUILDING ELEVATION - SOUTH



ENLARGED BUILDING ELEVATION - SOUTH

*Handwritten signature and notes in blue ink.*

**HASKELL ARCHITECTS and ENGINEERS, P.A.**  
 FLORIDA - Architecture # AA28000847 Engineering # 28004



111 Riverside Avenue  
 Jacksonville, Florida 32202  
 Phone # (904) 751-4503

CANTERWOOD MANOR AT APOPKA

**MJM ASSOCIATES**

1791 STATE ROAD 424, APOPKA, FL 32712

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

2	PRELIM DRC 2	8/1/16
1	PRELIM DRC 1	7/28/16
No.	DESCRIPTION	DATE

We hereby expressly reserve the property rights to this drawing and it is not to be reproduced, copied in any format or manner whatsoever without first obtaining our express written permission and consent.

DRAWN	CHECKED
MEL	MEL

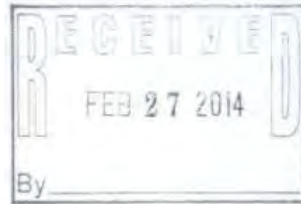
AE JOB NUMBER  
 42000201

Elevations

**A200**  
 SHEET NUMBER



# MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN FOR DIXIE MANOR CITY OF APOPKA, FLORIDA



**PROPERTY ADDRESS**

1791 OLD DIXIE HIGHWAY  
APOPKA, FLORIDA 32712

**OWNER/DEVELOPER**

ROBERT K. DUNN  
3820 TAYSIDE COURT  
APOPKA, FLORIDA 32712  
PHONE: (407) 579-1617

**ENGINEER**

HUDAK ENGINEERING, INC.  
1344 HARDY AVENUE  
ORLANDO, FLORIDA 32803  
PHONE: (407) 492-6833  
ATTN.: GREG HUDAK, P.E.

**ARCHITECT**

DDP ARCHITECTS  
390 WILMA STREET  
LONGWOOD, FLORIDA 32750  
PHONE: (407) 870-2575  
ATTN.: JAMES GARRITANI

**LANDSCAPE ARCHITECT**

LANDSCAPE DYNAMICS, INC.  
P.O. BOX 2852  
WINTER PARK, FLORIDA 32790-2852  
PHONE: (407) 579-1811  
ATTN.: RANDY BUCHANAN, RLA



**VICINITY MAP**

**SITE DATA TABLE**

PARCEL ID NUMBER	05-21-28-0000-00-034		
PARCEL ID NUMBER	05-21-28-0000-00-041		
PARCEL ID NUMBER	05-21-28-0000-00-019		
PARCEL ID NUMBER	05-21-28-0000-00-035		
PROPOSED USE	ASSISTED LIVING FACILITY		
FUTURE LAND USE	EXISTING: LOW DENSITY RESIDENTIAL PROPOSED: MEDIUM DENSITY RESIDENTIAL		
ZONING	EXISTING: R-3 (ZIP) PROPOSED: PUD		
ACREAGE/SQUARE FOOTAGE	6.99 AC./304,484 S.F.		
BUILDING HEIGHT	PROPOSED: 35 FT	MAX: 35 FT	
FLOOR AREA RATIO	PROPOSED: 0.25	MAX. 0.25	
OPEN SPACE RATIO	PROPOSED: 0.65	MIN. 0.30	
BUILDING SETBACKS	PROPOSED FRONT: 92' WEST SIDE: 77' REAR: 100' EAST SIDE: 100' REQUIRED FRONT: 10' WEST SIDE: 75' REAR: 100' EAST SIDE: 100'		
PARKING SPACES	PROVIDED: 70	REQUIRED: SEE BELOW	
NUMBER OF BEDS	140		
NUMBER OF EMPLOYEES	TOTAL: 45 BUSIEST SHIFT: 20		
WAIVER REQUEST	YES: X NO:		
VARIANCE REQUEST	YES: NO: X		

**VARIANCE (V)/WAIVER (W) TABLE**

CODE #	CODE REQUIREMENT	(V/W)	REQUEST	JUSTIFICATION
6.03.02	2/BEDROOM+1/250 SF OFFICE	W	PARKING BASED ON ITE MANUAL	SEE ATTACHED

**SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST**

INDEX OF SHEETS	
SHEET No.	SHEET TITLE
C-1	COVER SHEET
C-2	SITE PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS & SPECS
A2-1	1ST LEVEL FLOOR PLAN
A2-2	2ND LEVEL FLOOR PLAN
A3-1	BUILDING ELEVATIONS
	SURVEY

**GENERAL NOTES:**

- THE FINAL DEVELOPMENT PLAN AT A MINIMUM SHALL ADDRESS THE INFORMATION REQUIRED UNDER SECTION 12.02.04 OF THE APOPKA LAND DEVELOPMENT CODE.
- FACILITY SHALL CONFORM TO ALL APPLICABLE BUILDING STATUTES, CODES OR ORDINANCES, WHETHER FEDERAL, STATE, COUNTY OR CITY.
- FACILITY SHALL CONFORM TO ALL REQUIREMENTS, RULE AND REGULATIONS OF THE FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES APPLICABLE TO SUCH FACILITIES.
- FACILITY SHALL CONFORM TO ALL LAND DEVELOPMENT CODES AND ORDINANCES PERTAINING TO THESE DISTRICTS AND TO ALL APPLICABLE CITY LICENSING REQUIREMENTS.
- NO FACILITY SHALL BE OCCUPIED BY ANY PERSON WHO HAS BEEN CONVICTED OF, ENTERED A PLEA OF GUILTY OR NOLO CONTENDERE TO, OR HAS BEEN FOUND GUILTY BY REASON OF INSANITY OF A FORTABLE FELONY UNDER SECTION 778.08, 1 FLORIDA STATUTES (1985), A FELONY OF THE SECOND DEGREE UNDER SECTION 800.04, FLORIDA STATUTES (1985), OR ANY OF THE SEX OFFENSES SET FORTH UNDER SECTION 917.02(1), FLORIDA STATUTES (1985), REGARDLESS OF WHETHER AN ADJUDICATION OF GUILT ON IMPOSITION OF SENTENCE WAS SUSPENDED, DEFERRED OR WITHHELD.
- ALL SIDEWALKS ALONG OLD DIXIE HIGHWAY AND INTERNAL SHALL MEET ADA REQUIREMENTS AND CITY STANDARDS.
- AN OUTDOOR LIGHTING PLAN PER THE CITY'S DEVELOPMENT DESIGN GUIDELINES SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLANS.
- A PHOTOMETRIC LIGHTING PLAN FOR THE SITE SHALL BE PROVIDED AS PART OF THE FINAL DEVELOPMENT PLANS. LIGHTING PLAN SHALL PREVENT LIGHT SPILLOVER INTO RESIDENTIAL AREAS AND LIMIT LUMENS TO 0 AT PROPERTY LINES.
- MONUMENT SIGN SHALL NOT EXCEED 6 FEET IN HEIGHT WITH A MAXIMUM COP AREA OF 32 SQUARE FEET.
- ELECTRONIC READER BOARD IS NOT ALLOWED AS PART OF THE MONUMENT SIGN.
- IF A FINAL DEVELOPMENT PLAN ASSOCIATED WITH THE PUD HAS NOT BEEN APPROVED BY THE CITY WITHIN THREE YEARS AFTER APPROVAL OF THE MASTER PLAN FOR THE PUD, THE APPROVAL OF THE PLANNED UNIT DEVELOPMENT MASTER PLAN WILL EXPIRE. ADDITIONALLY, IF MORE THAN TWO YEARS LAPSE BETWEEN THE FINAL DEVELOPMENT PLAN APPROVALS OF ANY SEQUENTIAL PHASES OF THE PUD, THE APPROVAL OF THE PUD MASTER PLAN SHALL EXPIRE.
- THE INACTIVE OVERHEAD UTILITY LINE LOCATED ON THE EASTERN PORTION OF THE SITE WILL BE VACATED AND REMOVED.
- NO ACTIVITY AREAS ARE TO BE LOCATED WITHIN 20 FEET OF THE EASTERN PROPERTY LINE ABUTTING THE RESIDENTIAL LOTS.

DATE	REVISIONS

DRAWN BY	SMI	DESIGN BY	GDH	CHECKED BY	GDH	APPROVED BY	GDH



**MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN-DIXIE MANOR**  
CITY OF APOPKA, FLORIDA

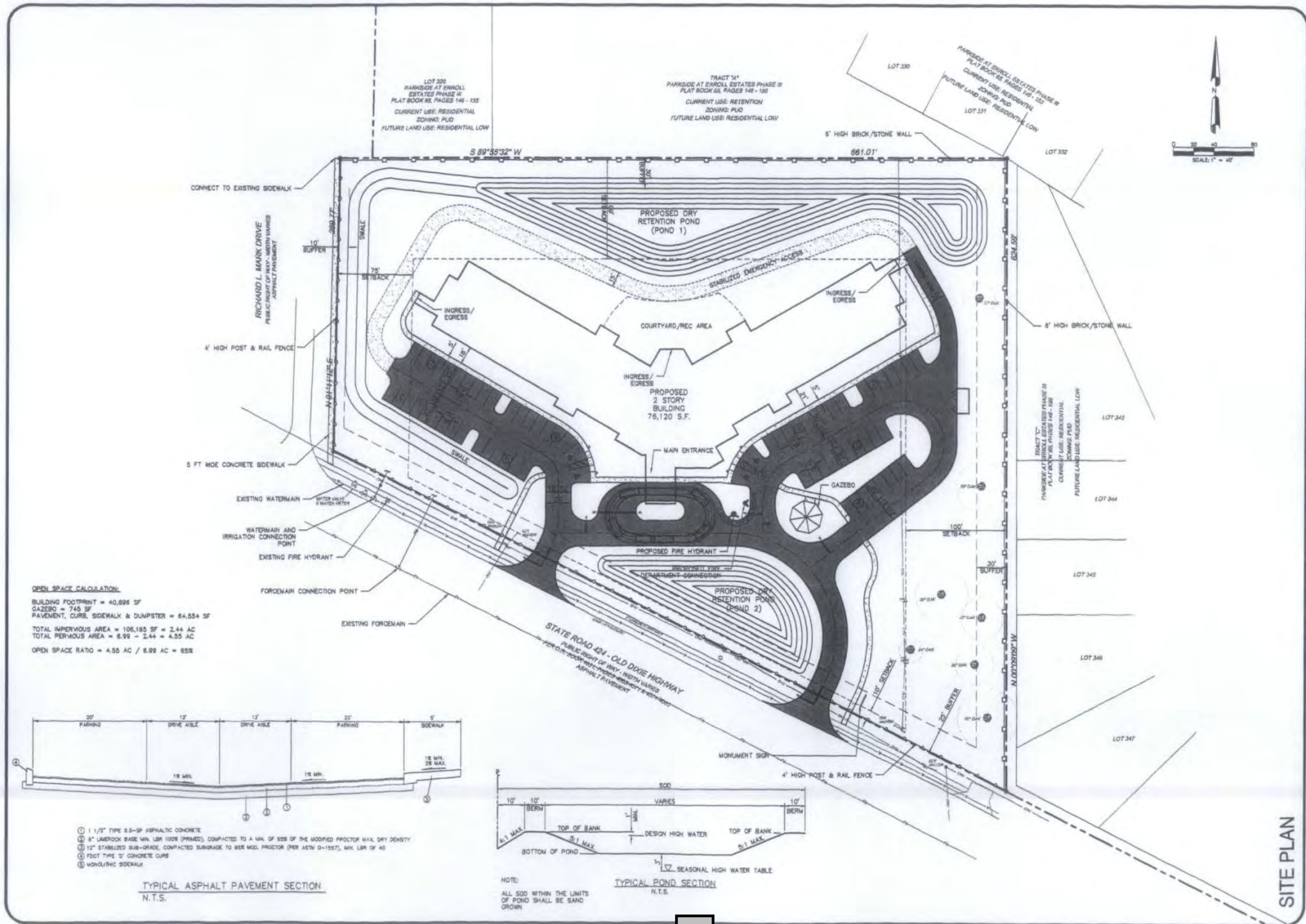
**HUDAK ENGINEERING, INC.**  
CIVIL, SURVEYING & LAND DEVELOPMENT DESIGN SERVICES  
CERTIFICATE OF AUTHORIZATION #2004  
1344 HARDY AVENUE, ORLANDO, FL 32801  
PHONE: (407) 492-6833  
FAX: (407) 492-6833  
EMAIL: greg@hudakengineering.com



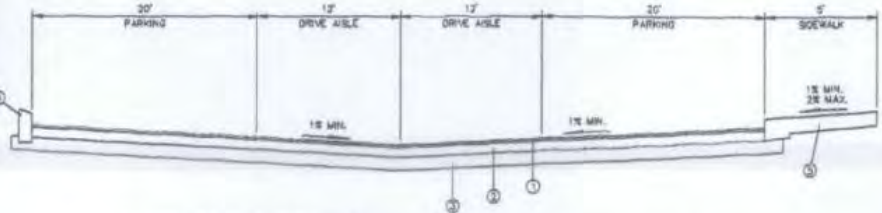
DATE:  
FEBRUARY 2014

SHEET NO.  
**C-1**  
1 of 2



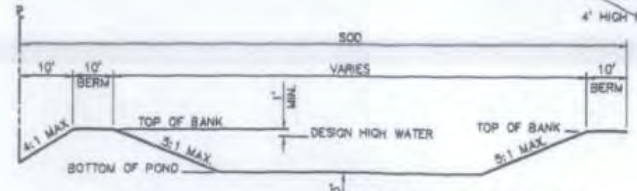


**OPEN SPACE CALCULATION:**  
 BUILDING FOOTPRINT = 40,896 SF  
 GAZEBO = 745 SF  
 PAVEMENT, CURB, SIDEWALK & DUMPSTER = 84,554 SF  
 TOTAL IMPERVIOUS AREA = 106,195 SF = 2.44 AC  
 TOTAL PERVIOUS AREA = 8.99 - 2.44 = 4.55 AC  
 OPEN SPACE RATIO = 4.55 AC / 8.99 AC = 50%



- ① 1 1/2" TYPE 8.5-SP ASPHALTIC CONCRETE
- ② 8" LAMEROCK BASE MIN. LBR 100% (PRIMED), COMPACTED TO A MIN. OF 95% OF THE MODIFIED PROCTOR MAX. DRY DENSITY
- ③ 12" STABILIZED SUB-GRADE, COMPACTED SUBGRADE TO 95% MOD. PROCTOR (PER ASTM D-1557), MIN. LBR OF 40
- ④ FOOT TYPE 1" CONCRETE CURB
- ⑤ MONOLITHIC SIDEWALK

TYPICAL ASPHALT PAVEMENT SECTION  
 N.T.S.



NOTE:  
 ALL SOD WITHIN THE LIMITS OF POND SHALL BE SAND GROWN  
 TYPICAL POND SECTION  
 N.T.S.

REVISIONS:

DATE	BY	DESCRIPTION

DRAWN BY	DESIGN BY	CHECKED BY	APPROVED BY
SMI	GDH	GDH	GDH

GREG HENDAK  
 PE # 54884

**MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN-DIXIE MANOR**  
 CITY OF APOPKA, FLORIDA

**HUDAK ENGINEERING, INC.**  
 CIVIL ENGINEERING & LAND DEVELOPMENT DESIGN SERVICES  
 CERTIFICATE OF AUTHORIZATION #1338  
 134 HANBY AVENUE, ORLANDO, FL 32801  
 PHONE: (407) 803-8823  
 EMAIL: greg@hudakengineering.com

DATE:  
 FEBRUARY 2014

SHEET NO.  
**C-2**  
 2 of 2









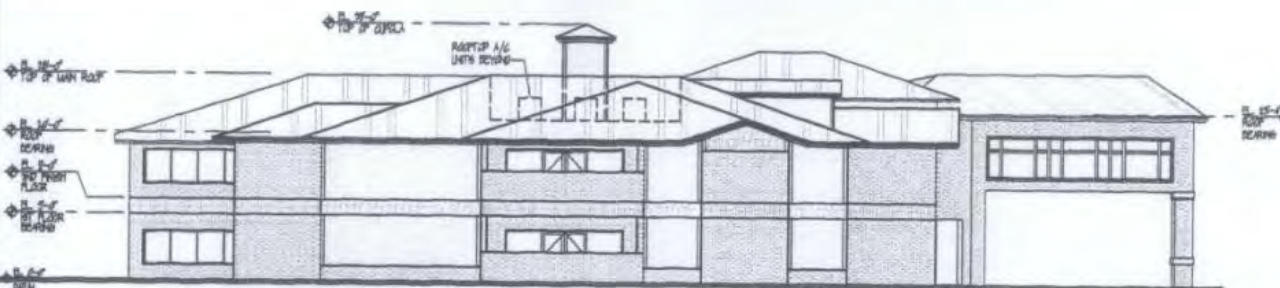




1 PRELIMINARY FRONT ELEVATION - SOUTH  
SCALE: 3/32" = 1'-0"



2 PRELIMINARY REAR ELEVATION - NORTH  
SCALE: 3/32" = 1'-0"



3 PRELIMINARY LEFT ELEVATION - WEST  
SCALE: 3/32" = 1'-0"



4 PRELIMINARY RIGHT ELEVATION - EAST  
SCALE: 3/32" = 1'-0"



THE HISTORIC DISTRICT  
380 WILMA STREET  
LONGWOOD, FL 32730  
PHONE: 407-834-2110 FAX:  
407-834-1428  
LICENSE # AA 0000648  
WWW.DDPARCHITECTS.COM

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James A. Durbani, R.A.  
ARCHITECT  
SIGNATURE & SEAL

PRELIMINARY DESIGN  
ASSISTED LIVING FACILITY  
APOPKA, FLORIDA

SHEET INFORMATION	
DATE:	JANUARY 28, 2011
DESIGNER:	NAB
PROJECT NO.:	-
REVISION BY:	JAG

REVISIONS	
REASON	DATE

EXTERIOR ELEVATIONS

A3.1

**ORDINANCE NO. 2355**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM "COUNTY" R-3 TO "CITY" PLANNED UNIT DEVELOPMENT (PUD/R-3) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF OLD DIXIE HIGHWAY, EAST OF RICHARD L. MARK DRIVE, AND SOUTH OF ERROL PARKWAY, COMPRISING 6.98 ACRES MORE OR LESS, AND OWNED BY ROBERT K. DUNN ET. AL.; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.**

**WHEREAS**, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

**WHEREAS**, the City of Apopka has requested a change in zoning on said property as identified in Section I of this ordinance; and

**WHEREAS**, the proposed Planned Unit Development (PUD/R-3) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

**NOW THEREFORE, BE IT ORDAINED**, by the City Council of the City of Apopka, Florida, as follows:

**SECTION I.** That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan zoning and development standards provisions:

A. The uses permitted within the PUD district shall be:

1. A maximum of one-hundred twenty-five (125) Assisted Living Facility (ALF) beds or a maximum of fifty-one (51) permanent residential units. For any Assisted Living Facility, such use shall meet the State of Florida definition for an Assisted Living Facility, at least eighty (80) percent of the beds shall be occupied by those age 55 of over, and the ALF shall follow a policy that demonstrates an intent to provide residential care for those aged 55 or older. A nursing home, group home facility, foster home, drug or alcohol detox center or rehabilitation center or similar emergency shelter are not permissible uses under this PUD zoning ordinance unless as otherwise superseded by Florida Statutes.
2. Any use or activity allowed within the R-3 residential zoning category exception as otherwise noted herein the PUD ordinance. Duplex residential units shall not be allowed.
3. Any building other than single family residential shall be setback a minimum of one hundred (100) feet from the northern and eastern property line, and at minimum of fifty (50) feet from the western property line.
4. Outdoor storage shall not be allowed (including donation bins).
5. No recreation or similar outdoor activities (walking path, gathering places etc.) shall occur within twenty (20) feet of the property line excepting any public sidewalk along Old Dixie Highway.
6. No outdoor activities shall occur after 9:00 PM or before 7:00 AM. Delivery services for shall be limited to similar hours.
7. Regular visitor hours shall be limited to no earlier than 7:00 AM and not later than 11:00 PM except for emergency purposes.

8. Consistent with Section 2.02.02B.5.e. (3)(b), Apopka Land Development Code, no ALF shall be occupied by any person who has been convicted of, entered a plea of guilty or nolo contendere to, or has been found guilty by reason of insanity of a forcible felony under Florida Statutes, a felony of the second degree under Florida Statutes, or any of the sex offenses set forth under Florida Statutes, regardless of whether an adjudication of guilt imposition of sentence was suspended, deferred or withheld.

B. Development Standards:

1. Development standards and setbacks shall comply with those established for the R-3 zoning category, as set forth under Section 2.02.07 of the Land Development Code, unless otherwise approved herein or within the Master Site Plan, or unless the City Council finds, based on substantial competent evidence, a proposed alternative development guideline is adequate to protect the public health safety and welfare, development within the PUD district.
  2. Maximum number of stories: two (2).
  3. A thirty (30) foot landscape buffer with a six foot high masonry wall shall occur along the northern and eastern property lines, and a fifteen (15) foot landscape buffer along the western property line. Location of the wall and landscaping shall be setback from the northwest property line to accommodate sufficient line-of-sight along Richard L. Mark Drive and to place open space next to the abutting residential lot.
  4. If the site is developed as an ALF, monument sign (identification sign) shall be limited to no more than twenty-four (24) square feet, and no electronic reader board will be allowed. The monument sign may be placed within the front yard along Old Dixie Highway near the site driveway entrance. No signage shall be allowed along Richard L. Mark Drive. No wall sign or other signage will be allowed except for on-site directional signage, unless otherwise allowed by the City's sign codes for special event or grand opening.
  5. No outdoor illumination shall spillover into abutting residential areas.
  6. All trees and landscaping within the perimeter buffers shall be allowed to grow and will be maintained to a height to screen the ALF building from adjacent residential areas.
  7. Architectural design of the building shall be generally consistent with that approved with the PUD ordinance unless otherwise approved by the City Council.
  8. Changes to the Master Site Plan\ Preliminary Development Plan or architectural design considered to be insignificant may be approved by the Community Development Director or as approved by the City through the Final Development Plan.
  9. Employee parking shall be directed to the southwest parking area and visitor parking directed to the southeast parking area. On-site direction signage shall be posted to direct visitor parking as such.
  10. Driveway access to Richard L. Mark Drive shall not be allowed unless needed for emergency access.
- C. The Master Site Plan\ Preliminary Development Plan is hereby approved and is part of the PUD zoning ordinance. Any requisite development standards not addressed within the Master Site Plan\ Preliminary Development Plan shall be addressed within the Final Development Plan.



D. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after the effective date of this ordinance, the approval of the Master Plan provisions will expire. At such time, the City Council may:

1. Permit a single six-month extension for submittal of the required Final Development Plan;
2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
3. Rezone the property to a more appropriate zoning classification.

**Section II.** That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby Planned Unit Development (PUD/R-3) As defined in the Apopka Land Development Code.

**Legal Description:**

The East 100 Feet of the North ½ of the West ½ of the Southwest ¼, lying north of Old Brick Road, in Section 5, Township 21 South, Range 28 East, Orange County, Florida  
Parcel I.D. # 05-21-28-0000-00-019  
1.38 +/- acres

The North ½ of the East ½ of the West ½ of the Southwest ¼ of Section 5, Township 21 South, Range 28 East, lying north of Road, LESS the North 100.00 feet thereof, and also LESS the East 106.00 feet thereof, Orange County, Florida.  
Parcel I.D. # 05-21-28-0000-00-034  
4.23 +/- acres

The West 6 feet of the East 106 feet of the Northeast ¼ of the Northwest ¼ of the Southwest ¼ lying north of Old Brick Road in Section 5, Township 21 South, Range 28 East, Orange County, Florida.  
Parcel I.D. # 05-21-28-0000-00-035  
0.80 +/- acre

South 21.69 feet of the North 100.00 feet of the North ½ of the East ½ of the West ½ of the Southwest ¼ of Section 5, Township 21 South, Range 28 East, LESS the East 106.00 feet thereof, Orange County, Florida.  
Parcel I.D. # 05-21-28-0000-00-041  
1.27 +/- acres

Total Combined Acreage: 6.98 +/- Acres

**Section III.** That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

**Section IV.** That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

**Section V.** That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

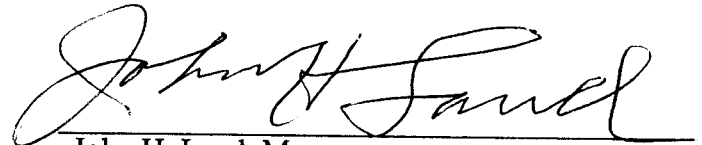


**Section VI.** That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

**Section VII.** That this Ordinance shall take effect upon the effective date of City of Apopka Ordinance No. 2354.

READ FIRST TIME: March 19, 2014

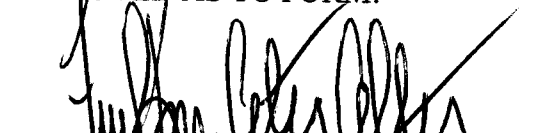
READ SECOND TIME  
AND ADOPTED: April 2, 2014

  
John H. Land, Mayor

ATTEST:

  
Janice G. Goebel, City Clerk

APPROVED AS TO FORM:

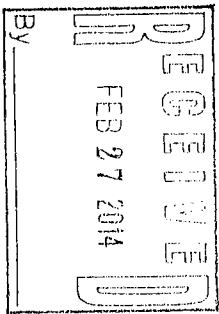
  
Frank Kruppelbacher, Esq., City Attorney

DULY ADVERTISED FOR TRANSMITTAL HEARING:

February 21, 2014  
March 21, 2014

# MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN

## FOR DIXIE MANOR CITY OF APOPKA, FLORIDA



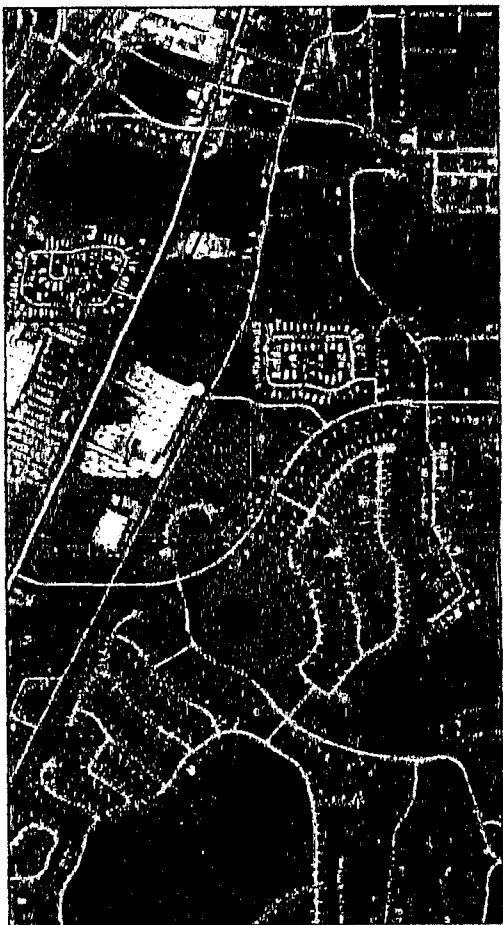
**PROPERTY ADDRESS**  
1781 OLD DIXIE HIGHWAY  
APOPKA, FLORIDA 32712

**OWNER/DEVELOPER**  
ROBERT K. DUNN  
3620 TAYLOR COURT  
APOPKA, FLORIDA 32712  
PHONE: (407) 579-1517

**ENGINEER**  
HUDAK ENGINEERING, INC.  
1344 HARDY AVENUE  
ORLANDO, FLORIDA 32803  
PHONE: (407) 492-5833  
ATTN: GREG HUDAK, P.E.

**ARCHITECT**  
DDP ARCHITECTS  
390 WILMA STREET  
LONGWOOD, FLORIDA 32750  
PHONE: (407) 870-2575  
ATTN: JAMES GARRITANI

**LANDSCAPE ARCHITECT**  
LANDSCAPE DYNAMICS, INC.  
P.O. BOX 2852  
WINTER PARK, FLORIDA 32790-2852  
PHONE: (407) 579-1811  
ATTN: RANDY BOCHANAN, RLA



VICINITY MAP

SITE DATA TABLE

PARCEL ID NUMBER	05-21-28-0000-00-034	
PARCEL ID NUMBER	05-21-28-0000-00-041	
PARCEL ID NUMBER	05-21-28-0000-00-019	
PARCEL ID NUMBER	05-21-28-0000-00-035	
PARCEL ID NUMBER	05-21-28-0000-00-035	
PROPOSED USE	ASSISTED LIVING FACILITY	
FUTURE LAND USE	EXISTING: LOW DENSITY RESIDENTIAL PROPOSED: MEDIUM DENSITY RESIDENTIAL	
ZONING	EXISTING: R-3 (ZIP) PROPOSED: RUD	
ACREAGE/SQUARE FOOTAGE	6.99 AC./304,484 S.F.	
BUILDING HEIGHT	PROPOSED: 35 FT MAX: 35 FT	
FLOOR AREA RATIO	PROPOSED: 0.25 MAX: 0.25	
OPEN SPACE RATIO	PROPOSED: 0.65 MIN: 0.30	
BUILDING SETBACKS	PROPOSED FRONT: 92' WEST SIDE: 77' REAR: 100' EAST SIDE: 100'	
PARKING SPACES	REQUIRED FRONT: 10' WEST SIDE: 75' REAR: 100' EAST SIDE: 100'	
NUMBER OF BEDS	140	
NUMBER OF EMPLOYEES	TOTAL: 45 BUSIEST SHIFT: 20	
WAIVER REQUEST	YES: X NO: X	
VARIANCE REQUEST	YES: X NO: X	

VARIANCE (V)/WAIVER (W) TABLE

CODE #	CODE REQUIREMENT	(V/W)	REQUEST	JUSTIFICATION
6.03.02	2/BEDROOM+1/250 SF OFFICE	W	PARKING BASED ON ITE MANUAL	SEE ATTACHED

### SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST

INDEX OF SHEETS	
SHEET NO.	SHEET TITLE
C-1	COVER SHEET
C-2	SITE PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS & SPECS
A2-1	1ST LEVEL FLOOR PLAN
A2-2	2ND LEVEL FLOOR PLAN
A3-1	BUILDING ELEVATIONS
	SURVEY

GENERAL NOTES:

- THE FINAL DEVELOPMENT PLAN AT A MINIMUM SHALL ADDRESS THE INFORMATION REQUIRED UNDER SECTION 12.034 OF THE APOPKA LAND DEVELOPMENT CODE.
- FACILITY SHALL CONFORM TO ALL APPLICABLE BUILDING STATUTES, CODES OR ORDINANCES, WHETHER FEDERAL, STATE, COUNTY OR CITY.
- FACILITY SHALL CONFORM TO ALL APPLICABLE BUILDING STATUTES, CODES OR ORDINANCES, DEPARTMENT OF HEALTH AND REHABILITATION SERVICES APPLICABLE TO SUCH FACILITIES.
- FACILITY SHALL CONFORM TO ALL LAND DEVELOPMENT CODES AND ORDINANCES PERTAINING TO THESE DISTRICTS AND TO ALL APPLICABLE CITY DESIGN REQUIREMENTS.
- NO FACILITY SHALL BE OCCUPIED BY ANY PERSON WHO HAS BEEN CONVICTED OF, ENTERED A PLEA OF GUILTY OR HAD CONTROVERSY TO, OR HAS BEEN FOUND GUILTY BY REASON OF INSANITY OF A FELONY UNDER SECTION 778 OR 1, FLORIDA STATUTES (1985), A FELONY OF THE SECOND DEGREE UNDER SECTION 800.04, FLORIDA STATUTES (1985), OR ANY OF THE SEX OFFENSES SET FORTH UNDER SECTION 917.01(2)(1) FLORIDA STATUTES (1985), REGARDLESS OF WHETHER AN APPLICATION OF GUILT ON ACHIEVEMENT OF SERVICE WAS SUSPENDED, DEFERRED OR WITHHELD.
- ALL STRUCTURES ALONG OLD DIXIE HIGHWAY AND INTERNAL SHALL MEET ADA REQUIREMENTS AND CITY STANDARDS.
- AN OUTDOOR LIGHTING PLAN PER THE CITY'S DEVELOPMENT DESIGN GUIDELINES SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN.
- A PHOTOGRAPHIC LIGHTING PLAN FOR THE SITE SHALL BE PROVIDED AS PART OF THE FINAL DEVELOPMENT PLAN. THE PHOTOGRAPHIC LIGHTING PLAN SHALL IDENTIFY LIGHT SPILLOVER INTO RESIDENTIAL AREAS AND LIGHT LUMENS TO 0 FT PROPERTY LINE.
- MONUMENT SIGN SHALL NOT EXCEED 6 FEET IN HEIGHT WITH A MAXIMUM COP AREA OF 32 SQUARE FEET.
- ELECTRONIC READER BOARD IS NOT ALLOWED AS PART OF THE MONUMENT SIGN.
- IF A FINAL DEVELOPMENT PLAN ASSOCIATED WITH THE PUD HAS NOT BEEN APPROVED BY THE CITY WITHIN THREE YEARS AFTER APPROVAL OF THE MASTER PLAN FOR THE PUD, THE APPROVAL OF THE PLANNED UNIT DEVELOPMENT MASTER PLAN WILL EXPIRE. ADDITIONALLY, IF MORE THAN TWO YEARS Lapse BETWEEN THE FINAL DEVELOPMENT PLAN APPROVALS OF ANY SUBSEQUENT PHASES OF THE PUD, THE APPROVAL OF THE PUD MASTER PLAN SHALL EXPIRE.
- THE EXISTING OVERHEAD UTILITY LINE LOCATED ON THE EASTERN PORTION OF THE SITE WILL BE VACATED AND REMOVED.
- NO ACTIVITY AREAS ARE TO BE LOCATED WITHIN 20 FEET OF THE EASTERN PROPERTY LINE ADJACENT TO THE RESIDENTIAL LOTS.

DRAWN BY		SML	DATE	REVISIONS:
DESIGN BY		GQH		
CHECKED BY		GQH		
APPROVED BY		GQH		

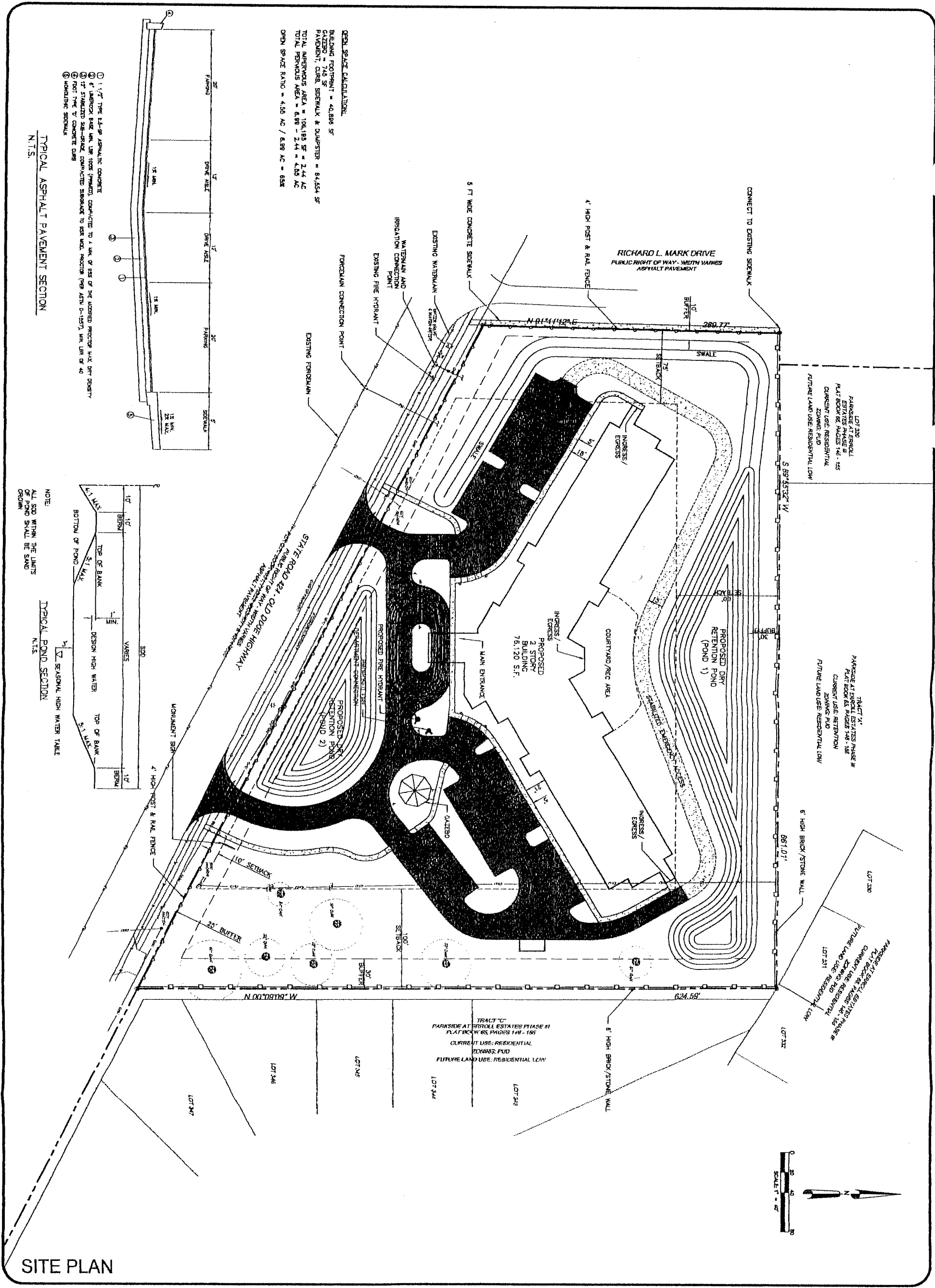


### MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN-DIXIE MANOR

CITY OF APOPKA, FLORIDA

**HUDAK ENGINEERING, INC.**  
CIVIL, ENGINEERING & LAND DEVELOPMENT DESIGN SERVICES  
CERTIFICATE OF AUTHORIZATION #2388  
1344 HARDY AVENUE, ORLANDO, FL 32803  
PHONE: (407) 492-5833  
EMAIL: gshudak@hudakengineering.com

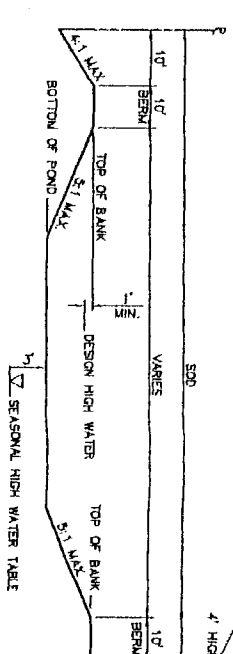
SHEET NO.  
**C-1**  
1 OF 2  
DATE:  
FEBRUARY 2014



**OPEN SPACE CALCULATION:**  
 BUILDING FOOTPRINT = 40,888 SF  
 GAZEBO = 719 SF  
 PAVEMENT, CURB, SIDEWALK & DRIVEWAY = 84,554 SF  
 TOTAL IMPERVIOUS AREA = 126,161 SF = 2.74 AC  
 TOTAL PERVIOUS AREA = 8,888 SF = 0.20 AC  
 TOTAL OPEN SPACE = 8,888 SF = 0.20 AC  
 OPEN SPACE RATIO = 4.35 AC / 6.98 AC = 62%

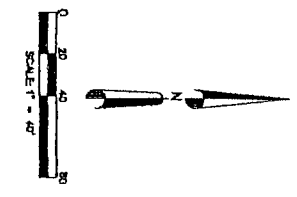
- ① 1 1/2" THICK 1.5-PSI ASPHALTIC CONCRETE
- ② 4" LAYER OF 1.5-PSI ASPHALTIC CONCRETE
- ③ 1" STABILIZED SUB-GRADE, COMPACTED SUBGRADE TO SET WITH PROPOSED PERMITS (PER AC 10-1572), MIN. 1% OF 40
- ④ FOOTING TO CONCRETE CURB
- ⑤ MONUMENT SIDEWALK

TYPICAL ASPHALT PAVEMENT SECTION  
 N.T.S.



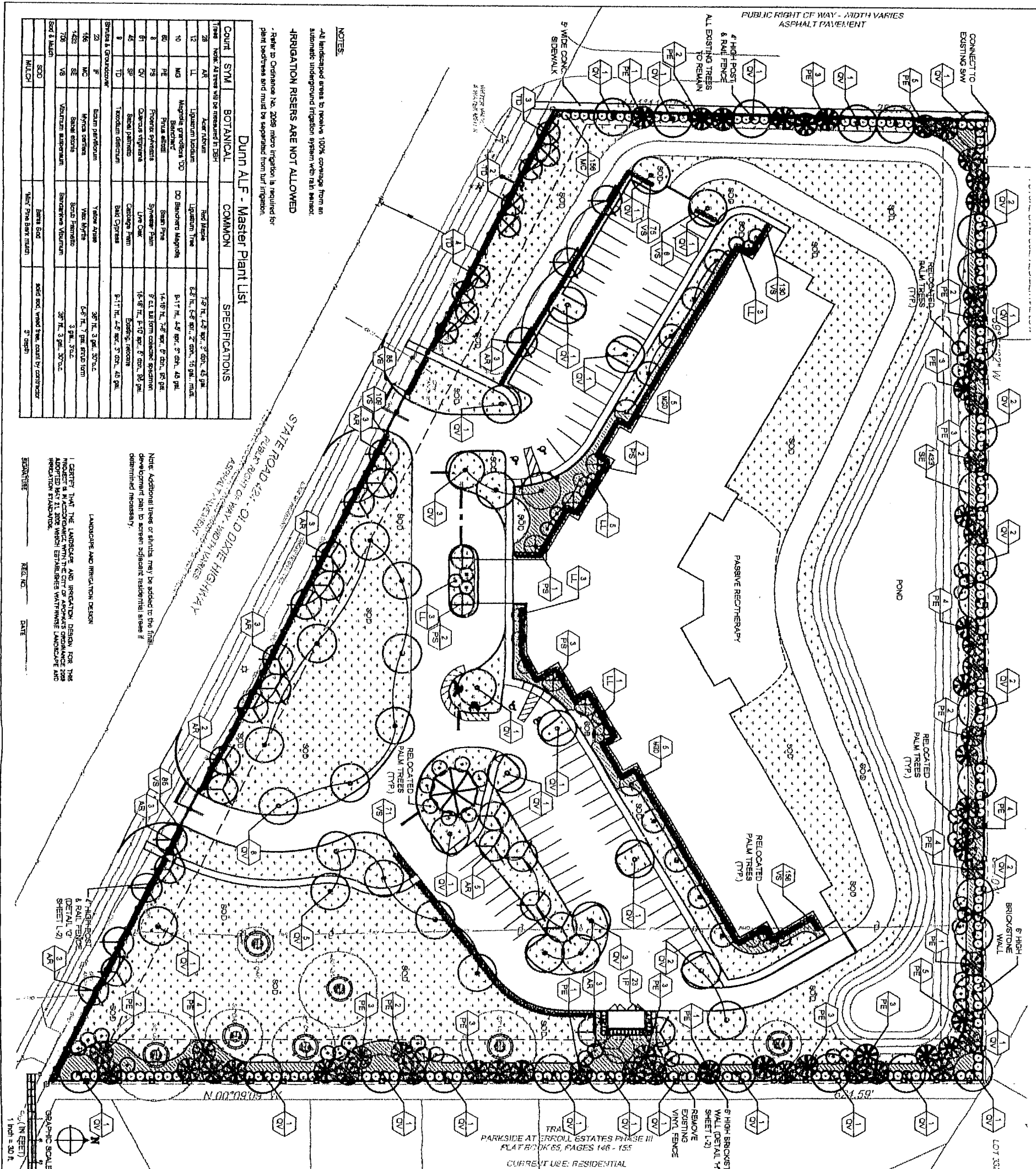
TYPICAL POND SECTION  
 N.T.S.

**SITE PLAN**



<p>SHEET NO. <b>C-2</b> 2 OF 2</p>	<p>DATE: FEBRUARY 2014</p>	<p><b>HUDAK ENGINEERING, INC.</b>        CIVIL ENGINEERING &amp; LAND DEVELOPMENT DESIGN SERVICES        CERTIFICATE OF AUTHORIZATION #0386        1344 HARDY AVENUE, ORLANDO, FL 32803        PHONE: (407) 463-8803        EMAIL: ghuak@hudak-engineering.com</p>	<p><b>MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN-DIXIE MANOR</b>        CITY OF APOPKA, FLORIDA</p>	<p>DRAWN BY: SML        DESIGN BY: GDH        CHECKED BY: GDH        APPROVED BY: GDH</p>	<p>DATE: _____        REVISIONS:</p>
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**Dunn ALF - Master Plant List**

COUNT	SYM	BOTANICAL	COMMON	SPECIFICATIONS
1	AE	Acacia saligna	Wattle	12' H, 4" DB, 2' CAN, 15 GAL
2	AL	Albizia leonensis	Silk Tree	8-11' H, 4" DB, 2' CAN, 15 GAL
3	AR	Ardisia cuneata	Winterberry	14-18" H, 3/8" DB, 8" CAN, 65 GAL
4	BE	Berberis aquifolium	European Holly	16-18" H, 3/8" DB, 8" CAN, 65 GAL
5	BT	Banksia laevis	Woolly Banksia	16-18" H, 3/8" DB, 8" CAN, 65 GAL
6	CA	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
7	CE	Ceanothus leucodermis	White Flowering Ceanothus	16-18" H, 3/8" DB, 8" CAN, 65 GAL
8	CF	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
9	CP	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
10	CS	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
11	CT	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
12	CV	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
13	CA	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
14	CB	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
15	CC	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
16	CD	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
17	CE	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
18	CF	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
19	CG	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
20	CH	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
21	CI	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
22	CJ	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
23	CK	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
24	CL	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
25	CM	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
26	CN	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
27	CO	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
28	CP	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
29	CQ	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
30	CR	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
31	CS	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
32	CT	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
33	CV	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
34	CW	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
35	CX	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
36	CY	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
37	CZ	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
38	DA	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
39	DB	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
40	DC	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
41	DD	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
42	DE	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
43	DF	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
44	DG	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
45	DH	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
46	DI	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
47	DJ	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
48	DK	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
49	DL	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
50	DM	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
51	DN	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
52	DO	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
53	DP	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
54	DQ	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
55	DR	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
56	DS	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
57	DT	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
58	DV	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
59	DW	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
60	DX	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
61	DY	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
62	DZ	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
63	EA	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
64	EB	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
65	EC	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
66	ED	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
67	EE	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
68	EF	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
69	EG	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
70	EH	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
71	EI	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
72	EJ	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
73	EK	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
74	EL	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
75	EM	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
76	EN	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
77	EO	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
78	EP	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
79	EQ	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
80	ER	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
81	ES	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
82	ET	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
83	EV	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
84	EW	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
85	EX	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
86	EY	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
87	EZ	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
88	FA	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
89	FB	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
90	FC	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
91	FD	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
92	FE	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
93	FF	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
94	FG	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
95	FH	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
96	FI	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
97	FJ	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
98	FK	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
99	FL	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL
100	FM	Calliandra speciosa	Orange Blossom	16-18" H, 3/8" DB, 8" CAN, 65 GAL

**NOTES:**  
 - All landscaped areas to receive 100% coverage from an automatic underground irrigation system with rain sensor.  
 - IRRIGATION RISERS ARE NOT ALLOWED  
 - Refer to Ordinance No. 2098 when irrigation is required for plant locations and must be separate from other irrigation.

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE FOR LANDSCAPE DESIGN AND IRRIGATION. I AM A LICENSED LANDSCAPE ARCHITECT AND IRRIGATION DESIGNER.  
 SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**Trees to be Saved**

Type	Count	Size	Inches
Oak	1	24"	24
Oak	1	32"	32
Oak	1	36"	36
Oak	2	42"	42
Oak	1	50"	50
Oak	1	60"	60
Total	7		224 inches

**TREE REMOVAL AND REPLACEMENT**  
 TOTAL TREE INCHES ON SITE = 224"  
 TOTAL TREE INCHES REMOVED = 0"  
 TOTAL TREE INCHES REPLACED = N/A  
 MAXIMUM TREE STOCK FORMULA AND CALCULATIONS = N/A  
 QUANTITY OF SPECIMEN TREES (24" OR GREATER) BEING REMOVED = 0  
 SITE CLEARING AREA IN SQUARE FEET AND ACRES = 295,105 sq. ft. & 6.7 acres  
 NOTE: NO TREES ON SITE ARE TO BE REMOVED UNLESS PREVIOUSLY REMOVED TO THE PROVIDED LOCATIONS.

**LANDSCAPE TABULATION**  
**GENERAL REQUIREMENTS**  
 Apopka Land Development Code Applies Chapter 24, Landscaping, Buffering, and Open Space  
 Landscapes Adjacent to Street Right-of-Way: (1 canopy tree per 30 L.F. and 36" Hedges)  
 South 1/4 - 60' (Impervious) - 65'  
 Trees Required: 20 Canopy  
 Trees Provided: 30 Canopy  
 Landscapes Adjacent to Other Properties: (1 canopy tree per 35 L.F.)  
 North 1/4 - 60'  
 Trees Required: 18 Canopy  
 Trees Provided: 30 Canopy  
 East 1/4 - 60'  
 Trees Required: 18 Canopy  
 Trees Provided: 36 Canopy + 5 Shrubs  
 West 1/4 - 300'  
 Trees Required: 8 Canopy  
 Trees Provided: 13 Canopy

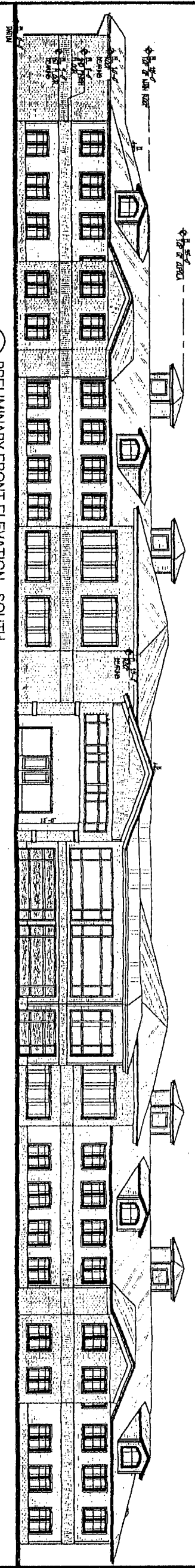
**LANDSCAPE PLAN**  
 Dixie Manor  
 Apopka, Florida

**LANDSCAPE DYNAMICS**  
 LANDSCAPE ARCHITECTS AND PLANNERS

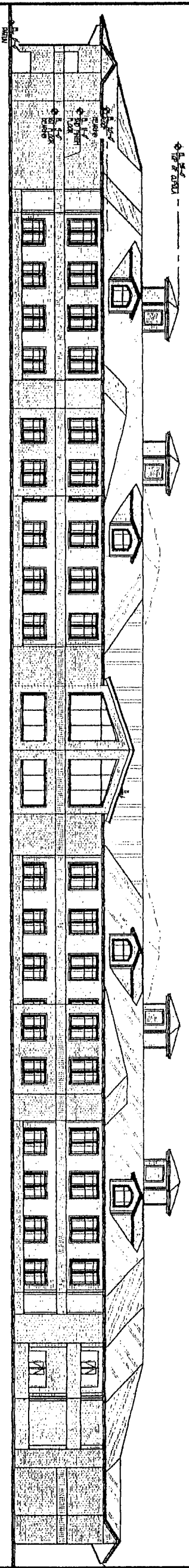
Robert K. Dunn, Trust  
 3620 Foy'side Court  
 Apopka, FL 32712  
 PH: 407-670-1617



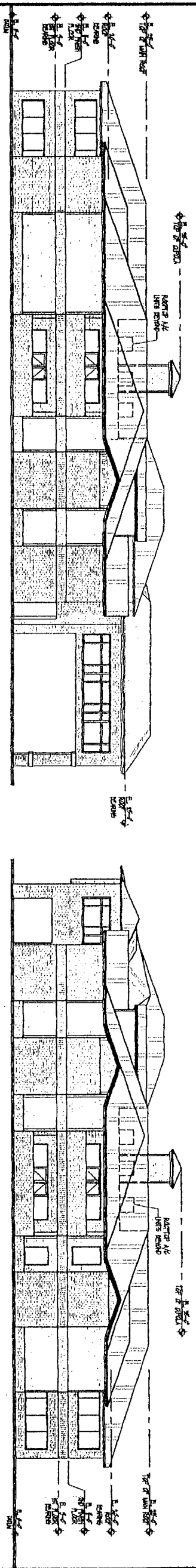




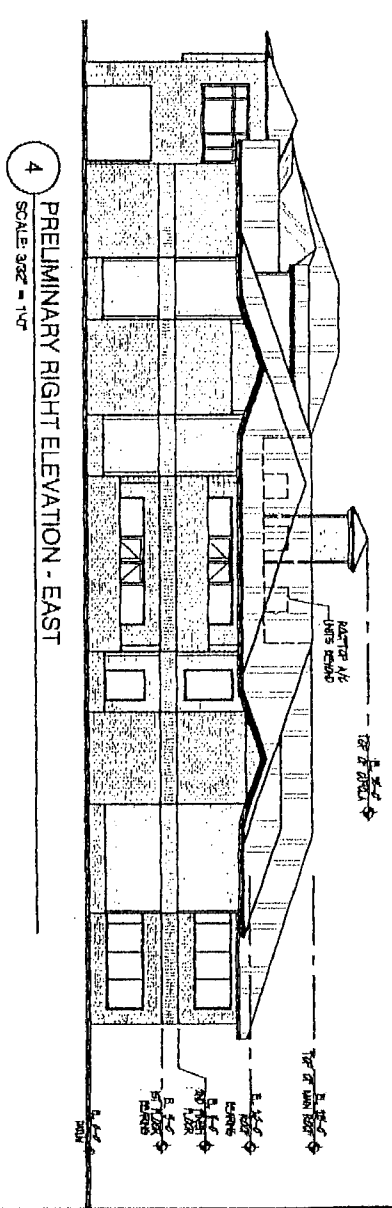
1 PRELIMINARY FRONT ELEVATION - SOUTH  
SCALE: 3/8" = 1'-0"



2 PRELIMINARY REAR ELEVATION - NORTH  
SCALE: 3/8" = 1'-0"



3 PRELIMINARY LEFT ELEVATION - WEST  
SCALE: 3/8" = 1'-0"



4 PRELIMINARY RIGHT ELEVATION - EAST  
SCALE: 3/8" = 1'-0"



THE HISTORIC DISTRICT  
380 WILMA STREET  
LONGWOOD, FL 32750  
PHONE: 407-884-2110 FAX:  
407-884-1428  
LICENSE # PA 0000848  
WWW.DDP-ARCHITECTS.COM

THE OCCUPANT AGREES THE DESIGN  
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ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING,  
RECORDING, OR BY ANY INFORMATION STORAGE  
RETRIEVAL AND RETRIEVAL SYSTEMS  
WITHOUT THE WRITTEN PERMISSION OF DDP ARCHITECTS, INC.

James A. Gantman, P.A.  
AR0014343  
SIGNATURE & SEAL

PRELIMINARY DESIGN  
ASSISTED LIVING FACILITY  
APOPKA, FLORIDA

BHEET INFORMATION

DATE:	JANUARY 24, 2011
DRAWN BY:	MAH
PROJECT NO.:	1101
REVISIONS:	JAS
REVISION #	DATE

A3.1  
EXTERIOR  
ELEVATIONS

**Backup material for agenda item:**

4. CHANGE OF ZONING – Orchid Estates Planned Unit Development Master Plan – Owned by JTD Land at Orchid Estates, c/o James Fant and located south of Kelly Park Road, west of Jason Dwelley Parkway. (Parcel ID #s: 18-20-28-0000-00-055 & 18-20-28-0000-00-059)





# CITY OF APOPKA PLANNING COMMISSION

---

_____ PUBLIC HEARING	DATE:	September 13, 2016
_____ ANNEXATION	FROM:	Community Development
_____ PLAT APPROVAL	EXHIBITS:	A: Zoning Report
_____ OTHER:		B: Vicinity Map
		C: Adjacent Zoning Map
		D: Adjacent Uses Map
		E: Amended Master Plan/PDP

---

**SUBJECT:** ORCHID ESTATES – AMENDMENT TO ORCHID ESTATES PLANNED UNIT DEVELOPMENT ZONING AND MASTER PLAN

**PARCEL ID NUMBERS:** 18-20-28-0000-00-055 & 18-20-28-0000-00-059

**Request:** RECOMMEND APPROVAL OF THE AMENDMENT TO THE ORCHID ESTATES PLANNED UNIT DEVELOPMENT ZONING AND MASTER PLAN

---

**SUMMARY**

**OWNER/APPLICANT:** JTD Land at Orchid Estates, c/o James Fant

**ENGINEER:** Engineering & Environmental Design, Inc., c/o Larry T. Ray P.E.

**LOCATION:** South of Kelly Park Road, west of Jason Dwelley Parkway

**EXISTING USE:** Vacant

**FUTURE LAND USE:** Residential Very Low Suburban (0-2 du/ac)

**CURRENT ZONING:** Planned Unit Development

**PROPOSED AMENDMENT:** Ownership of Tract “B” and “F” will change from the City of Apopka to the Orchid Estates Homeowners Association. Land use for Tract “B” will change from a City “fire station site” to a “Open Space\Tot Lot” that will serve the 112 lots within the Orchid Estates PUD. No other change is proposed to the Master Plan.

**TRACT SIZE:** Combined total Acreage: 60.82 +/- Total Acres

**MAXIMUM ALLOWABLE DEVELOPMENT:**

EXISTING:	112 Dwelling Units (as approved with existing PUD zoning ordinance; plans expired)
PROPOSED:	112 Dwelling Units

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**DISTRIBUTION**

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	Recreation Director

**PROJECT DESCRIPTION:** Orchid Estates PUD is located on the west side of Jason Dwelley Parkway, generally south of Spinfisher Drive and north of Apply Lane.

The applicant requests to change the future ownership of Tracts “B” and “F” from the City of Apopka to the Homeowners Association. City staff notified JTD Land at Apopka, LLC several months ago that a fire station site within the project boundaries was not needed because an alternative site was identified, and that the City does not need the 17.2 acre site for open space purposes. JTD Land agreed to amend the PUD Master Plan to change the ownership of two parcels from City ownership to HOA ownership. Tract “B” was originally proposed to serve as a site for a new City fire station. However, the City has made a decision to locate this new fire station at a more strategic location at a site along the east side of Jason Dwelley Parkway, across from the Northwest Regional Recreation Facility. The City of Apopka owns this preferred site. Orchid Estates is currently under construction, and model homes are proposed to begin construction within a few months. Approval of the amendment to the PUD Master Plan will allow administrative amendment of the Final Development Plan to address the same change in ownership of Tract “B” and Tract “F”.

The City’s Development Review Committee supports the change in the ownership of Tract “B” and Tract “F” to the homeowners association. Dedication of Tract “F” will require the City to pay for the cost to maintain 17.2 acres of open space that is internal to a residential community. A different site along Jason Dwelley Parkway has been selected for a future fire station. Tract “B” will not be needed for this purpose.

**PUD DESCRIPTION:** A single family residential community with a total of 112 lots. The minimum lot size is 70’ x 115’ (8,050 sq. ft.) with a minimum living area of 1,500 square feet as allow by the Land Development Code.

Minimum Site Area:	7,500 sq. ft.
Minimum Lot Width:	70’
Setbacks: Front:	25’
Side:	10’
Rear:	20’
Corner:	20’
Minimum Living Area:	1,500 sq. ft.

**ALLOWABLE USES:** Single Family Residential homes and their associated uses.

**ACCESS:** The subdivision has two access points off of Jason Dwelley Parkway. The property owner has control over the lands adjacent to the north. An ingress/egress easement in favor of the applicant for legal access to the project runs along the southern property line of the Ever Meadow LLC parcel to reach the

**STORMWATER:** The stormwater management system includes two on-site retention areas. The stormwater design meets the City’s Land Development Code requirements.

**BUFFER/PARK:** The applicant is proposing landscaped buffer areas adjacent to the agricultural uses located to the north and south of the property. This residential community will include a 17.17 acre woodland park and a two-acre tot lot.

**TREE PROGRAM:** The applicant has proposed reserved 17.17 acres of land for open space within Tract “F” in lieu of going through the tree mitigation process. This will preserve the mostly wooded area on the site as a City Park.



**COMPREHENSIVE PLAN COMPLIANCE:** The proposed amendment to the Orchid Estates PUD zoning and Master Plan are consistent with the City’s proposed Future Land Use designation. Site development cannot exceed the intensity allowed by the Future Land Use policies.

**SCHOOL CAPACITY REPORT:** This PUD Master Plan is located on a site with a previously approved Final Development Plan. This final development plan is exempt from school concurrency because it was approved by the City prior to the effective date of school concurrency. School impact fees will be paid with each building permit application for a single family home.

**ORANGE COUNTY NOTIFICATION:** The JPA requires the City to notify the County before any public hearing or advisory board. The City properly notified Orange County on August 12, 2016.

**PUBLIC HEARING SCHEDULE:**

September 13, 2016 – Planning Commission (5:30 pm)  
October 5, 2016 – City Council (1:30 pm) - 1<sup>st</sup> Reading  
October 19, 2016 – City Council (7:00 pm) - 2<sup>nd</sup> Reading

**DULY ADVERTISED:**

August 26, 2016 – Public Notice and Notification  
October 7, 2016 – Ordinance Heading Ad

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**RECOMMENDED ACTION:**

The **Development Review Committee** recommends approval of Amendment to the Orchid Estates Planned Unit Development and the Master Plan.

**Recommended Motion:** Find the Amendment to the Orchid Estates Planned Unit Development Zoning and the Master Plan to be consistent with the Comprehensive Plan and Land Development Code, and recommend to approve.

**Note:** This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting. Role of the Planning Commission in this case is advisory to the City Council.

**EXHIBIT “A”**  
**ZONING REPORT**

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Rural (1 du/10 ac)	A-1	Vacant
East (City)	Res. Very Low Suburban (0-2 du/ac)	PUD	Vacant
South (City)	Res. Very Low Suburban (0-2 du/ac)	PUD	SFR (4)
West (City)	Res. Very Low Suburban (0-2 du/ac)	PUD	Oak Ridge Subdivision

**LAND USE &**

**TRAFFIC COMPATIBILITY:**

A transportation study was prepared with the adopted Orchid Estates PUD, and the number of residential units has not increased. No additional transportation study is needed. The amendment to the PUD zoning and Master Plan does not changes the subdivision design and stormwater management plan, but no increase in residential units or density is proposed.

**BUFFERYARD**

**REQUIREMENTS:**

No changes to the buffers are proposed with the PUD amendment.

**ALLOWABLE USES:**

Single-family dwellings and their customary accessory structures and uses in accordance with article VII of this code. Supporting infrastructure and public facilities of less than five acres as defined in this code and in accordance with Section 2.02.01 of the LDC.



**EXHIBIT “B”**

**JTD Land at Orchid Estates, c/o Larry Fant  
60.82 +/- Total Acres**

**Existing Zoning Maximum Allowable Development: 112 Dwelling Units**

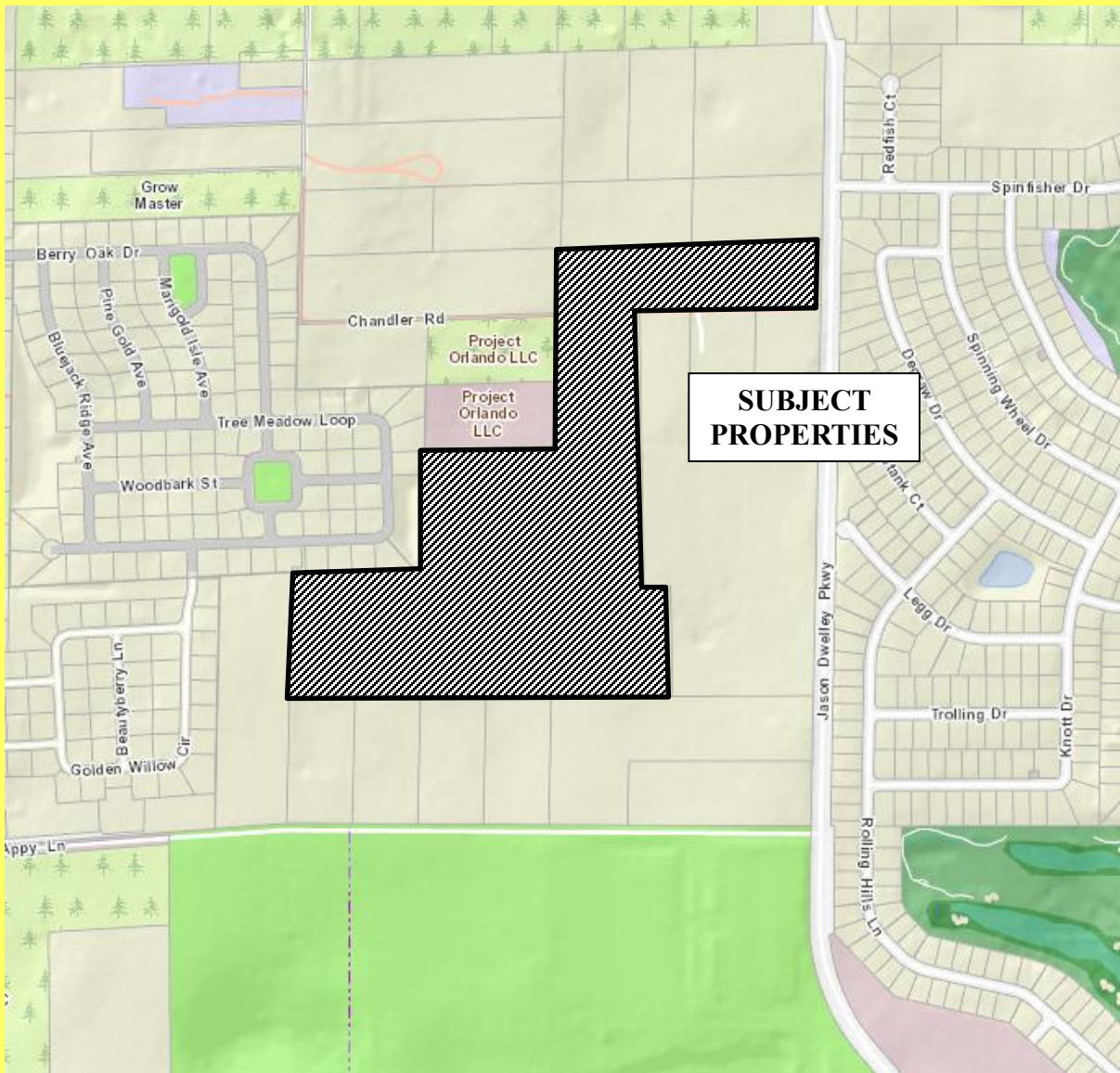
**Proposed Zoning Maximum Allowable Development: up to 112 Dwelling Units**

**Proposed Zoning Change: Amendment to the PUD and Master Plan\Final Development Plan  
To: “City” Planned Unit Development (PUD/Residential)**

**Parcel ID #s: 18-20-28-0000-00-055 & 18-20-28-0000-00-059**



**VICINITY MAP**



**EXHIBIT “C”  
ADJACENT ZONING**

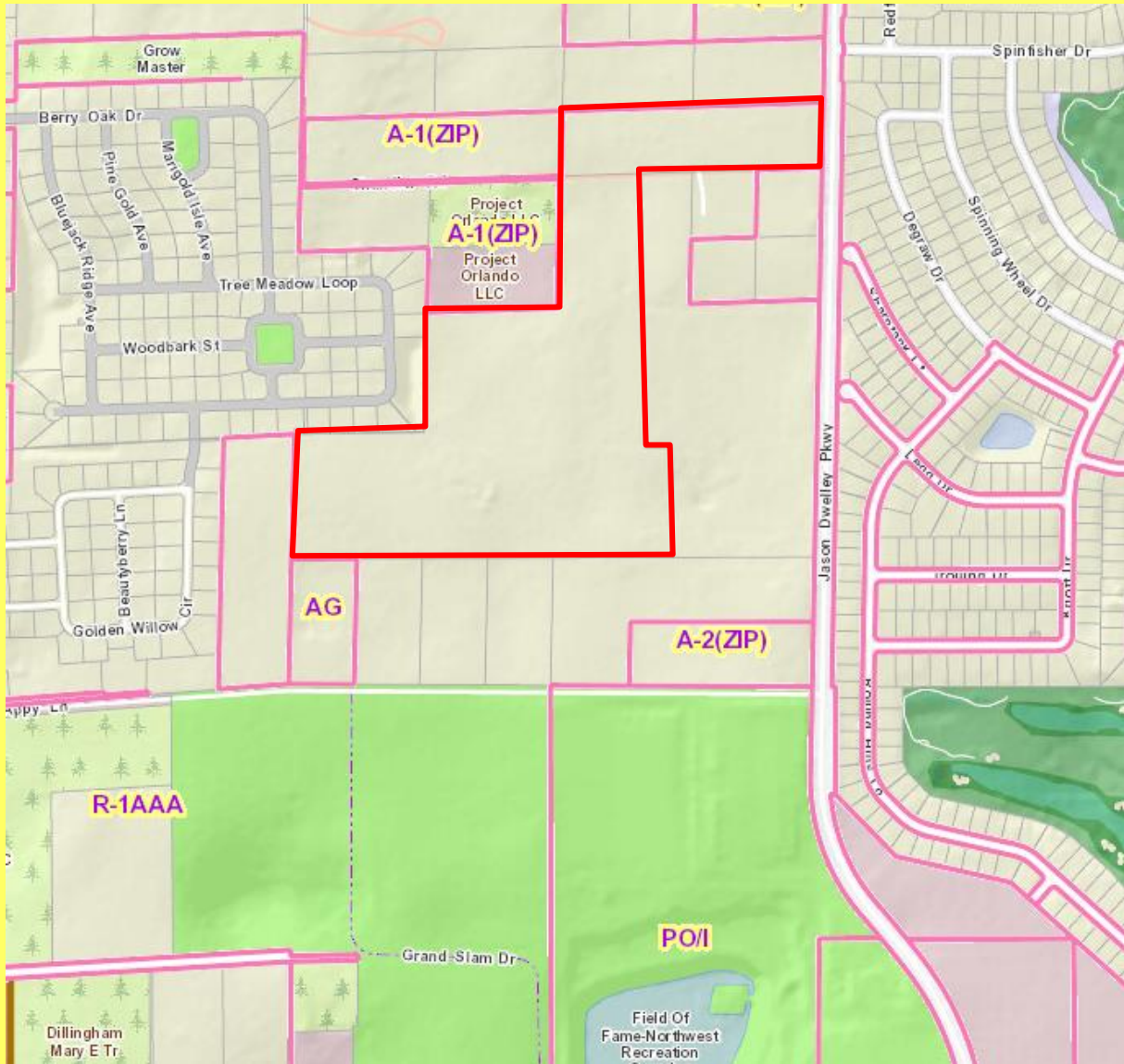
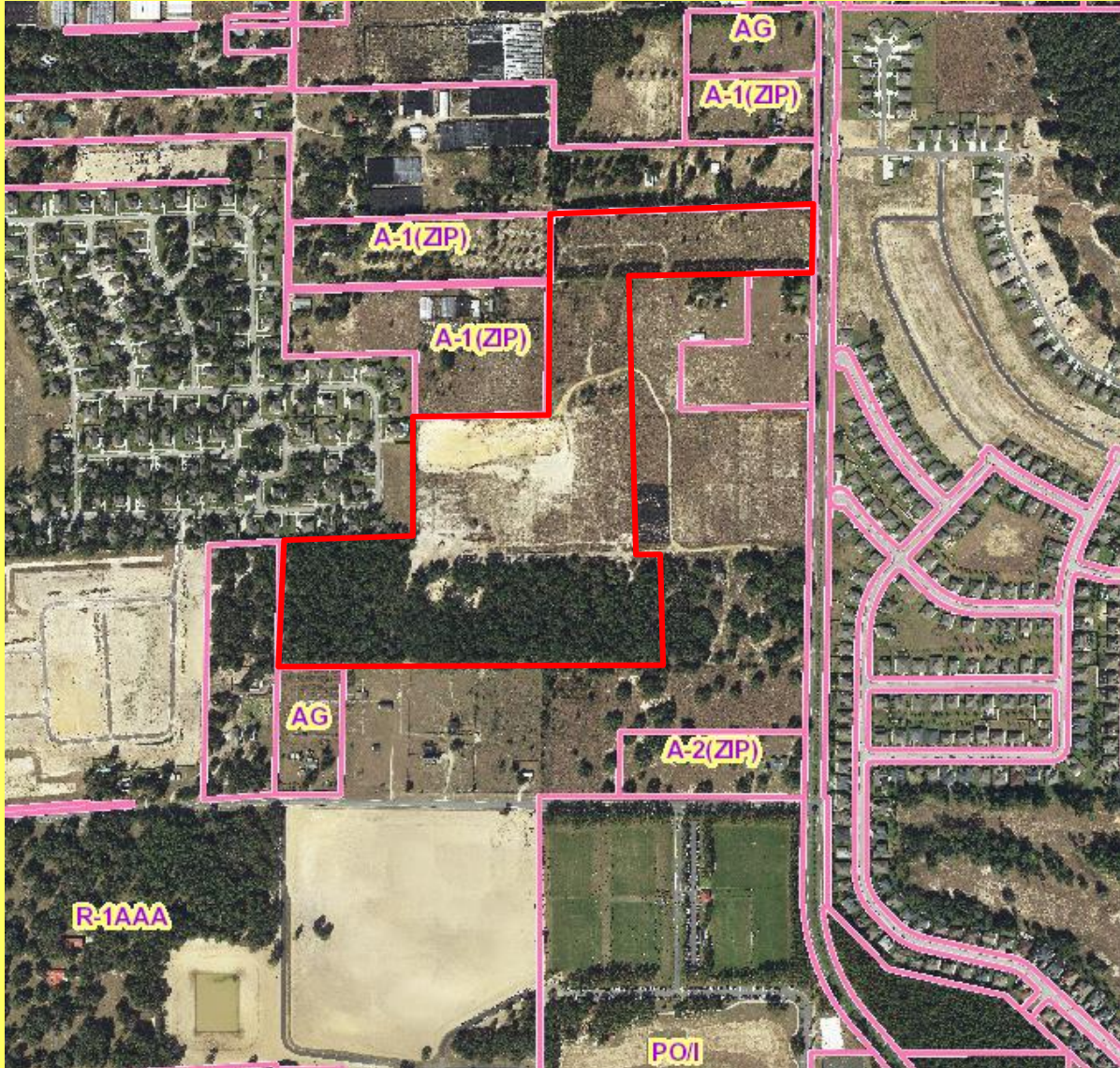




EXHIBIT “D”  
ADJACENT USES





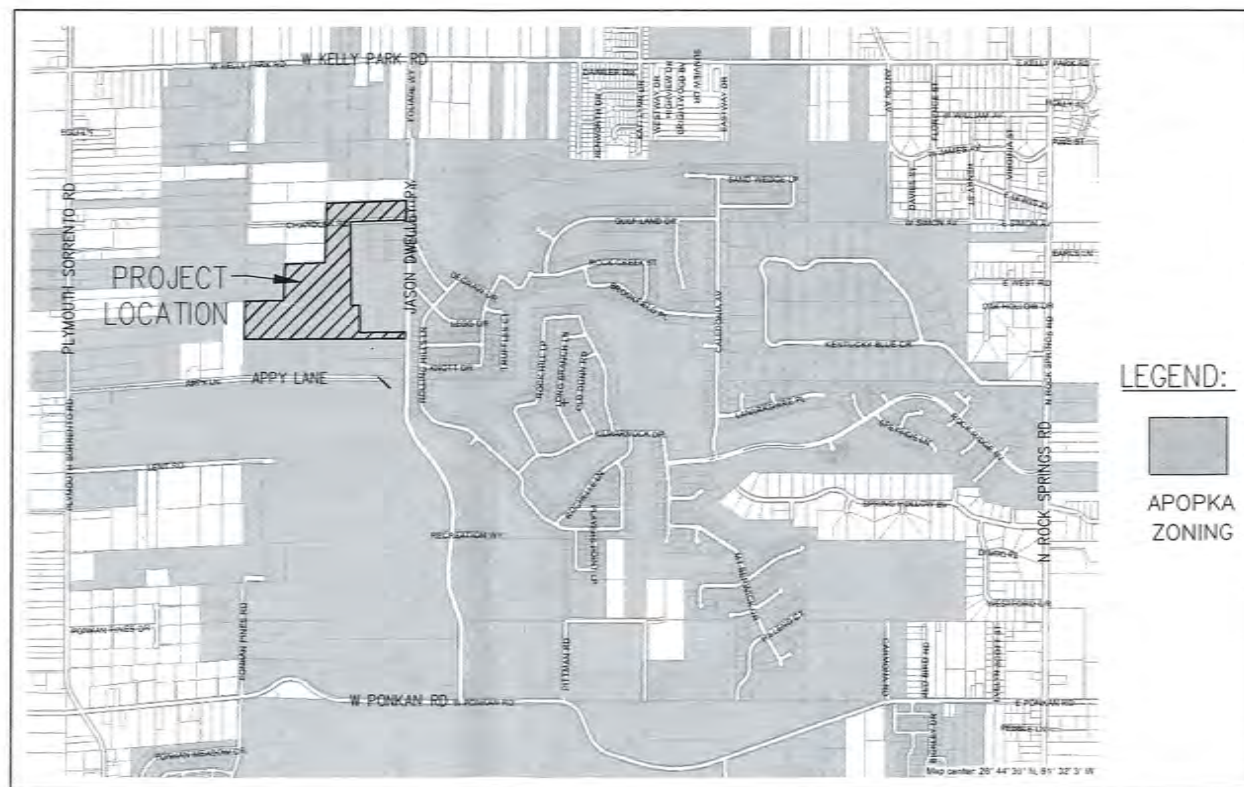
REVISED DATE: 09/02/2016 @ 08:55:59 AM  
 PLOTTED BY: ED'S ENG COMPUTER  
 LAST PLOTTED: 09/02/2016 @ 09:16:29 AM  
 CITY COVER REV PUD 09.02.16.DWG  
 JB NURSERIES REZONING\DWG\000 - 2007000001 - JB NURSERIES PROJECT  
 DWG NAME: C:\PROG\2009\060001 - JB NURSERIES PROJECT

# PUD MASTER PLAN FOR ORCHID ESTATES

18-20-28-0000-00-055  
 18-20-28-0000-00-059  
 18-20-28-0000-00-117

FEBRUARY 4, 2010  
 Revised: JANUARY, 2016

## GENERAL LOCATION MAP



### PROJECT CONTACTS:

**OWNER/DEVELOPER**  
 JTD LAND AT ORCHID ESTATES, LLC  
 210 S. HOAGLAND BOULEVARD  
 KISSIMMEE, FL 32789

**CIVIL ENGINEER**  
 ENGINEERING & ENVIRONMENTAL DESIGN, INC.  
 940 NORTH FERNCREEK AVENUE  
 ORLANDO, FLORIDA 32803  
 PHONE: (407) 650-0006  
 FAX: (407) 648-8338  
 CERTIFICATION OF AUTHORIZATION NO. 32032  
 LARRY T. RAY, P.E.

**SURVEYOR**  
 SOUTHEASTERN SURVEYING, INC.  
 6500 ALL AMERICAN BLVD.  
 ORLANDO, FLORIDA 32810-4350  
 PHONE: (407) 292-8580  
 FAX: (407) 292-0141  
 JIM PETERSON

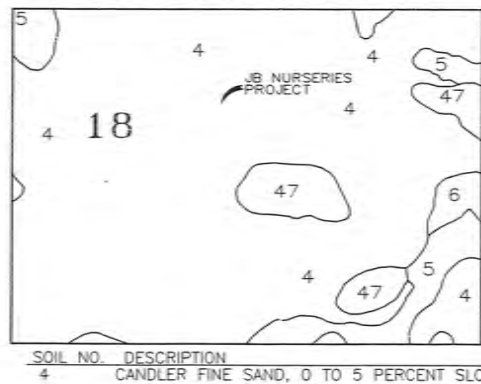
**GEOTECHNICAL ENGINEER**  
 YOVAISH ENGINEERING SCIENCES, INC.  
 953 SUNSHINE LANE  
 ALTAMONTE SPRINGS, FLORIDA 32714  
 PHONE: (407) 774-9383  
 FAX: (407) 774-7438  
 DOUG YOVAISH

### SEPERATE OWNER OF 60' TRACT

ROCHELLE HOLDINGS V, LLC.  
 1900 SUMMIT TOWER BLVD.  
 SUITE 820  
 ORLANDO, FL 32810

JTD  
 9/2/16  
 #32032

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF,  
 THE ROAD DESIGN ON THESE PLANS IS IN ACCORDANCE WITH THE MANUAL OF  
 UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE  
 FOR STREETS AND HIGHWAYS, STATE OF FLORIDA, (FDOT GREEN BOOK) 2004  
 AND CITY OF APOPKA REGULATIONS AND SPECIFICATIONS.



## SECTION 18 TOWNSHIP 20S RANGE 28E

18-20-28-0000-00-055  
 18-20-28-0000-00-059  
 18-20-28-0000-00-117



**engineering & environmental design inc.**  

 Civil Engineering, Land Planning & Environmental Consulting Services  
 540 North Ferncreek Ave., Orlando, Florida 32809  
 PHONE: (407) 650-0006 FAX: (407) 648-8338  
 CERTIFICATE OF AUTHORIZATION NUMBER 6136





**Backup material for agenda item:**

1. PRELIMINARY DEVELOPMENT PLAN - NORTHWEST DISTRIBUTION FACILITY BUILDING "D" – Owned by Oakmont Apopka Road, LLC; applicant is Oakmont Industrial Group c/o Jimmy Stainback. Property located on Ocoee Apopka Road between S.R. 451 and Ocoee-Apopka Road and east of Boy Scout Road. (Parcel ID #: 17-21-28-5953-03-000; 17-21-28-5953-04-000)





# CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING  
 ANNEXATION  
 PLAT APPROVAL  
 OTHER: Preliminary Development Plan

MEETING OF: September 13, 2016  
FROM: Community Development  
EXHIBITS: Vicinity/Aerial Map  
Site/Landscape Plans  
Building Elevations  
Alternative Parking Plan

**PROJECT: PRELIMINARY DEVELOPMENT PLAN – SITE PLAN  
NORTHWEST DISTRIBUTION FACILITY BUILDING “D”**

**Request: RECOMMEND APPROVAL OF THE PRELIMINARY DEVELOPMENT  
PLAN FOR THE NORTHWEST DISTRIBUTION FACILITY BUILDING  
“D”**

**SUMMARY:**

OWNER: Oakmont Apopka Road, LLC  
APPLICANT: Oakmont Industrial Group c/o Jimmy Stainback  
ENGINEER: Highland Engineering, Inc. c/o Jeffery W. Banker, PE  
ARCHITECT: GMA Architects  
LOCATION: Ocoee Apopka Road  
(Between S.R. 451 and Ocoee-Apopka Road and east of Boy Scout Road)  
PARCEL ID #: 17-21-28-5953-03-000 and 17-21-28-5953-04-000  
LAND USE: Industrial  
ZONING: I-1  
EXISTING USE: Vacant Land  
PROPOSED USE: Industrial Warehouse (167,270 S.F.) w/ Office Complex (13,730 S.F.)  
TRACT SIZE: 16.43 +/- acres  
OVERALL SITE: 45.09 +/- acres  
BUILDING SIZE: 180,000 sq. ft.

**DISTRIBUTION**

Mayor Kilsheimer  
Commissioners (4)  
City Administrator Irby  
Community Dev. Director

Finance Director  
HR Director  
IT Director  
Police Chief

Public Ser. Director  
City Clerk  
Fire Chief  
Recreation Director

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Industrial	I-1	Northwest Distribution Center Bldg. A and B
East (City)	Expressway	N/A	State Road 451
South (City)	Expressway	N/A	State Road 414
West (City)	Mixed Use	A-1(ZIP)	Vacant Property
West (County)	Rural	A-1	

**ADDITIONAL COMMENTS:** The Northwest Distribution Facility Building D - Preliminary Development Plan proposes an 180,000 square feet industrial warehouse and office space.

**PARKING:** A total of 187 parking spaces are provided (330 required by code) of which 6 are reserved as a handicapped parking space. The applicant has requested to defer and waive 143 of the parking space requirement for the site. In accordance with 6.03.02.D, the applicant has provided a deferred parking plan providing a total of 333 parking space for the site. A parking study has been prepared by the applicant to demonstrate that the requested number of parking spaces meets the demand by to accommodate vehicles for employees and customers.

**ACCESS:** Access to the site is provided by a two (2) driveway cuts along Ocoee-Apopka Road.

**EXTERIOR ELEVATIONS:** The height of the proposed building is 40’ (top of parapet wall). The City approved a variance on October 10, 2006 for the overall building height for this project not to exceed 50’. The proposed height 40’ is well below the maximum that could be built. Staff has found the proposed building elevations to be in accordance with the City’s Development Design Guidelines.

**STORMWATER:** Stormwater run-off and drainage will be accommodated by a master stormwater drainage system. The master stormwater management system is designed according to standards set forth in the Land Development Code.

**BUFFER/TREE PROGRAM:** A twenty-five foot landscape buffer is provided along Ocoee-Apopka Road and State Road 451. The applicant has provided a detailed landscape and irrigation plan for the property. The planting materials and irrigation system design are consistent with the water-efficient landscape standards set forth in Ordinance No. 2069.

Total inches on-site:	3719
Total number of specimen trees:	0
Total inches removed	2308
Total inches retained:	1411
Total inches replaced:	528
Total inches post development:	1939
Site Clearing Acres	8.7

**PUBLIC HEARING SCHEDULE:**

September 13, 2015 - Planning Commission (5:30 pm)  
 September 21, 2015 - City Council (7:00 pm)



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**RECOMMENDED ACTION:**

The **Development Review Committee** recommends approval of the **Northwest Distribution Facility Building D – Revised Final Development Plan**, subject to the findings of this staff report.

**Planning Commission Recommendation:** Recommend approval of the Northwest Distribution Facility Building D – Preliminary Development Plan, subject to the findings of this staff report.

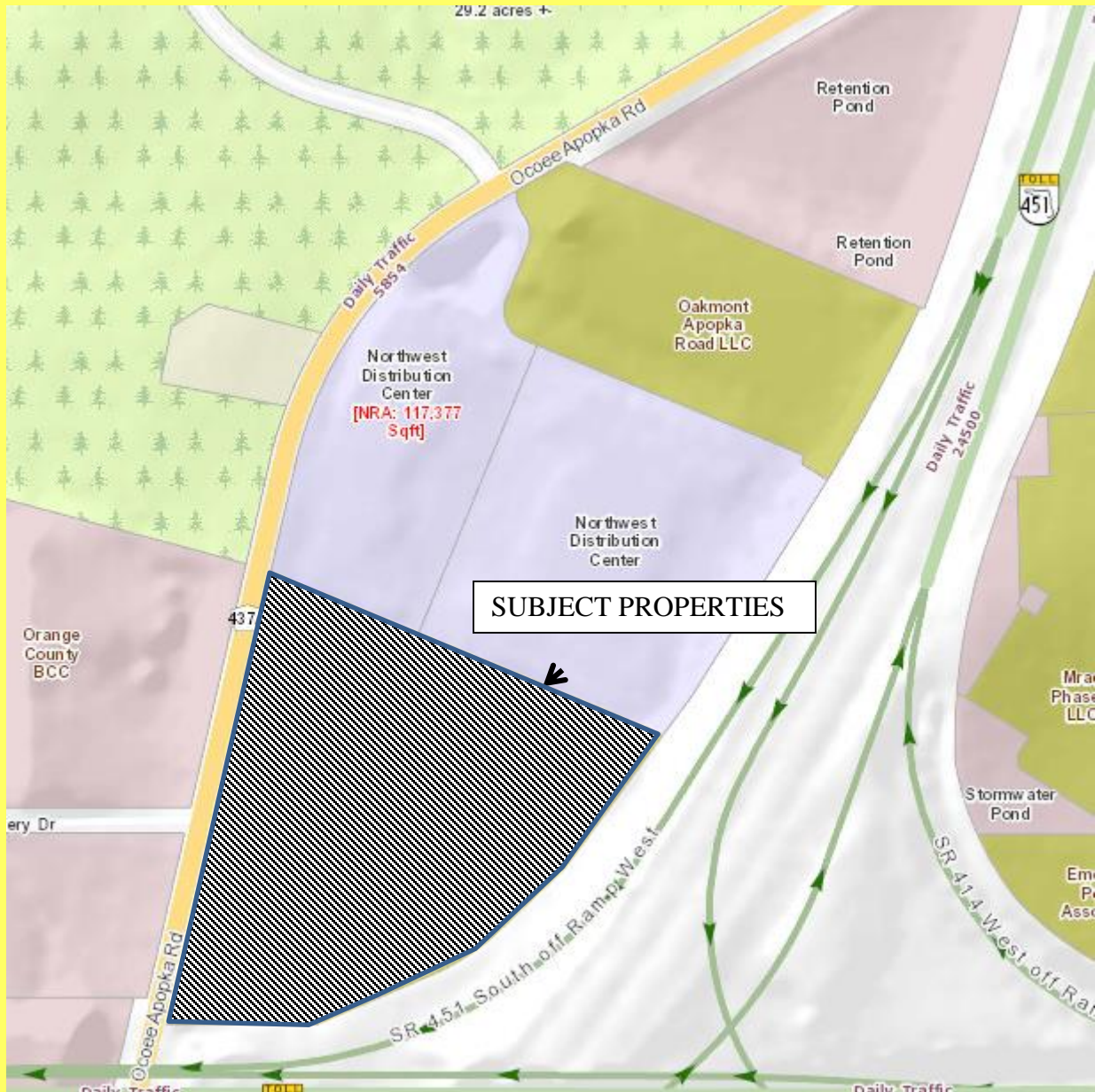
Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code

**Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.**

**Application:** Preliminary Development Plan  
**Owner:** Oakmont Apopka Road Property, LLC  
**Applicant:** Oakmont Industrial Group c/o Jimmy Stainback  
**Engineer:** Highland Engineering, Inc. c/o Jeffery W. Banker, PE  
**Parcel I.D. No:** 17-21-28-5953-03-000; 17-21-28-5953-04-000  
**Location:** Ocoee-Apopka Road  
**Acres:** 16.43 +/-



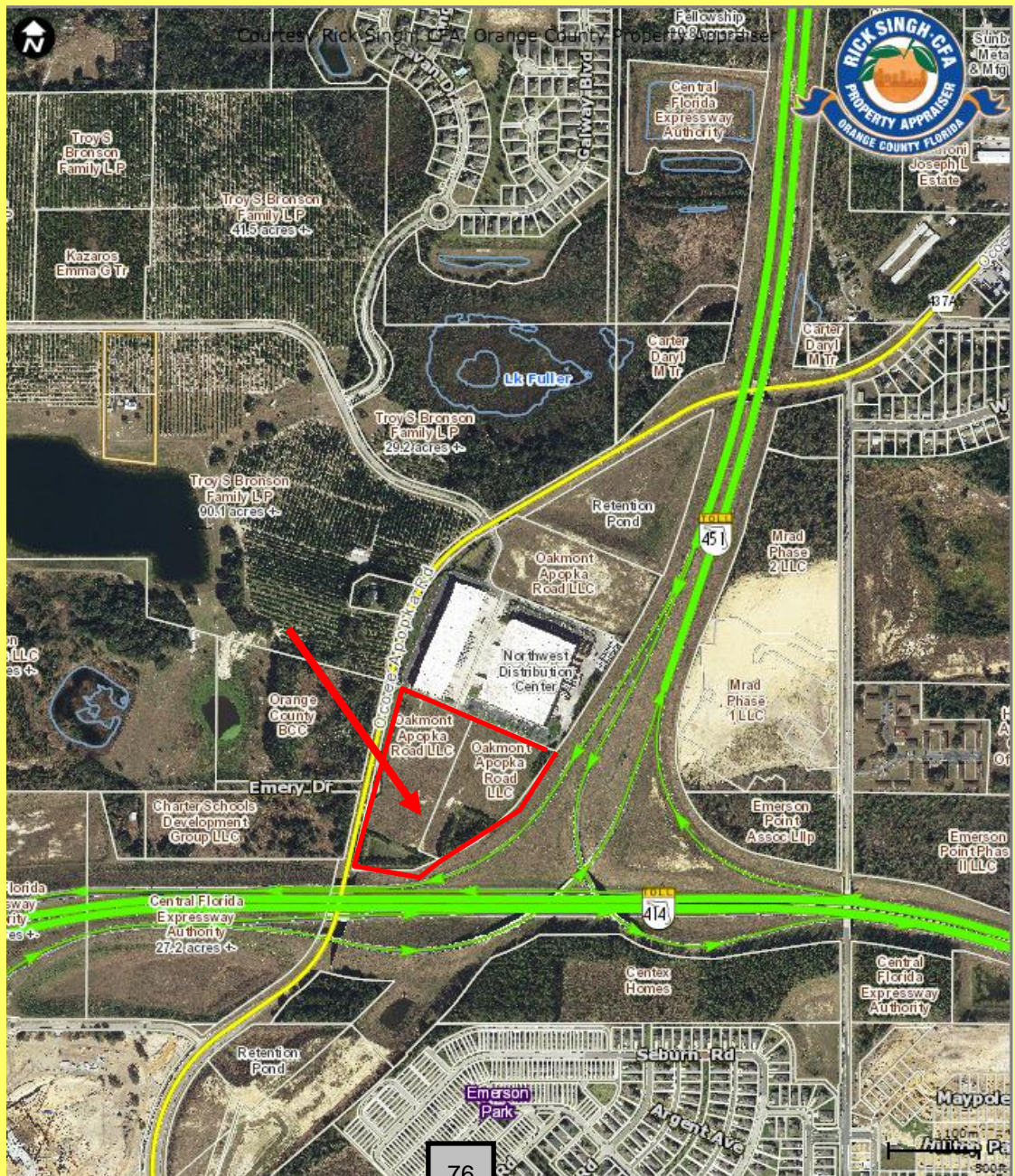
## VICINITY MAP





**Application:** Preliminary Development Plan  
**Owner:** Oakmont Apopka Road Property, LLC  
**Applicant:** Oakmont Industrial Group c/o Jimmy Stainback  
**Engineer:** Highland Engineering, Inc. c/o Jeffery W. Banker, PE  
**Parcel I.D. No:** 17-21-28-5953-03-000; 17-21-28-5953-04-000  
**Location:** Ocoee-Apopka Road  
**Acres:** 16.43 +/-

## AERIAL MAP





# (MAJOR) PRELIMINARY SITE DEVELOPMENT PLAN FOR NORTHWEST DISTRIBUTION FACILITY - BUILDING D

## Site Data Summary and Notes

- Parcel Identification No.: 17-21-28-5953-03-000, 17-21-28-5953-04-000
- Total Property Area: 45.09 Acres (1,964,120 SF)
- Project Area This Phase: 11.61 Acres (505,732 SF)
- Zoning: I-1 Restricted Industrial
- Future Land Use: Industrial
- Proposed Uses: Office/Warehouse Distribution:

BUILDING #	EMPLOYEES PROJECTED	OFFICE (SF)	WAREHOUSE (SF)	TOTAL (SF)
D	***	13,730	167,270	180,000

NOTE: The proposed building will be construction type IIB and will be protected with an automatic fire suppression system.

\*\*\* Upon initial operations: Total number of projected employees = 110  
Maximum number of employees for largest shift = 75

Upon 2 years of occupancy: Total number of project employees = 160  
Maximum number of employees for largest shift = 90

- Project Phasing: The project will be constructed in 1 phase.
- Floor Area Ratio (FAR): 0.60 Max, 0.10 provided this phase plus previous phases.
- Site and Building Requirements: City of Apopka's Land Development Code and Development Design Guidelines
- Maximum Building Height:
  - Maximum: 50 Feet, A variance was approved by the City Land Development Review Board on October 10, 2006.
  - Proposed: 40 Feet
- Maximum Impervious Coverage: Impervious coverage shall not exceed 80 percent of the total net developable land area.

a. Maximum Allowable:	0.80 x 45.09 Acres =	36.07 Acres (80%)
b. Impervious From Previous Phases:	=	22.80 Acres (51%)
c. Impervious This Phase:	Buildings =	4.13 Acres
	Pavement =	5.95 Acres
	SubTotal =	10.08 Acres (22%)

Total Impervious = 32.88 Acres (73%)

## 12. Parking Space Requirements:

BUILDING #	REQUIRED PARKING	PROVIDED PARKING	REQ. HANDICAPPED PARKING	PROVIDED HANDICAP PARKING	TOTAL SPACES PROVIDED
D	330	175	6	12	187

- All loading and unloading of vehicles will be performed within the limits of the truck courts.
- Building Setbacks:
 

Front Yard, Ocoee Apopka Road (CR 437A):	25 feet from Right of Way
Rear Yard, Western Beltway (SR 429):	25 feet
Side Yard:	10 feet
- Buffer Yards:
 

Front Yard, Ocoee Apopka Road (CR 437A):	25 feet from Right of Way
Rear Yard, Western Beltway (SR 429):	25 feet from Right of Way
Side Yard:	10 feet
- Allowable Vehicular Trips: A Traffic Study in accordance with Section 6.02.04 of the City of Apopka Land Development Code has been submitted in conjunction with the prior approved master development plan and was approved by the City of Apopka.
- Stormwater Management: A master stormwater management facility has been provided onsite to accommodate water quality treatment and attenuation of peak discharge flows prior to discharge according to City of Apopka and Saint Johns River Water Management District criteria.
- Erosion control will be addressed by the installation of a perimeter silt fence around the project limits.
- There are no 100 year flood prone areas located on the subject property.
- Water Service Provider: Apopka Utilities
- Sewer Service Provider: Apopka Utilities
- Reclaimed Water Provider: Apopka Utilities
- Building and site signage shall comply with the City of Apopka's Land Development Code and Development Design Guidelines
- Site lighting shall comply with City of Apopka's Land Development Code and Development Design Guidelines.
- Buildings shall comply with the City of Apopka's Land Development Code and Development Design Guidelines.
- Variance or Waivers Required:

## PREPARED FOR OAKMONT INDUSTRIAL GROUP

3520 Piedmont Rd., Suite 100  
Atlanta, Georgia 30305  
Ph: 404-869-9990  
Direct: 404-869-9952  
Fax: 404-869-9996  
Contact: Jimmy Stainback

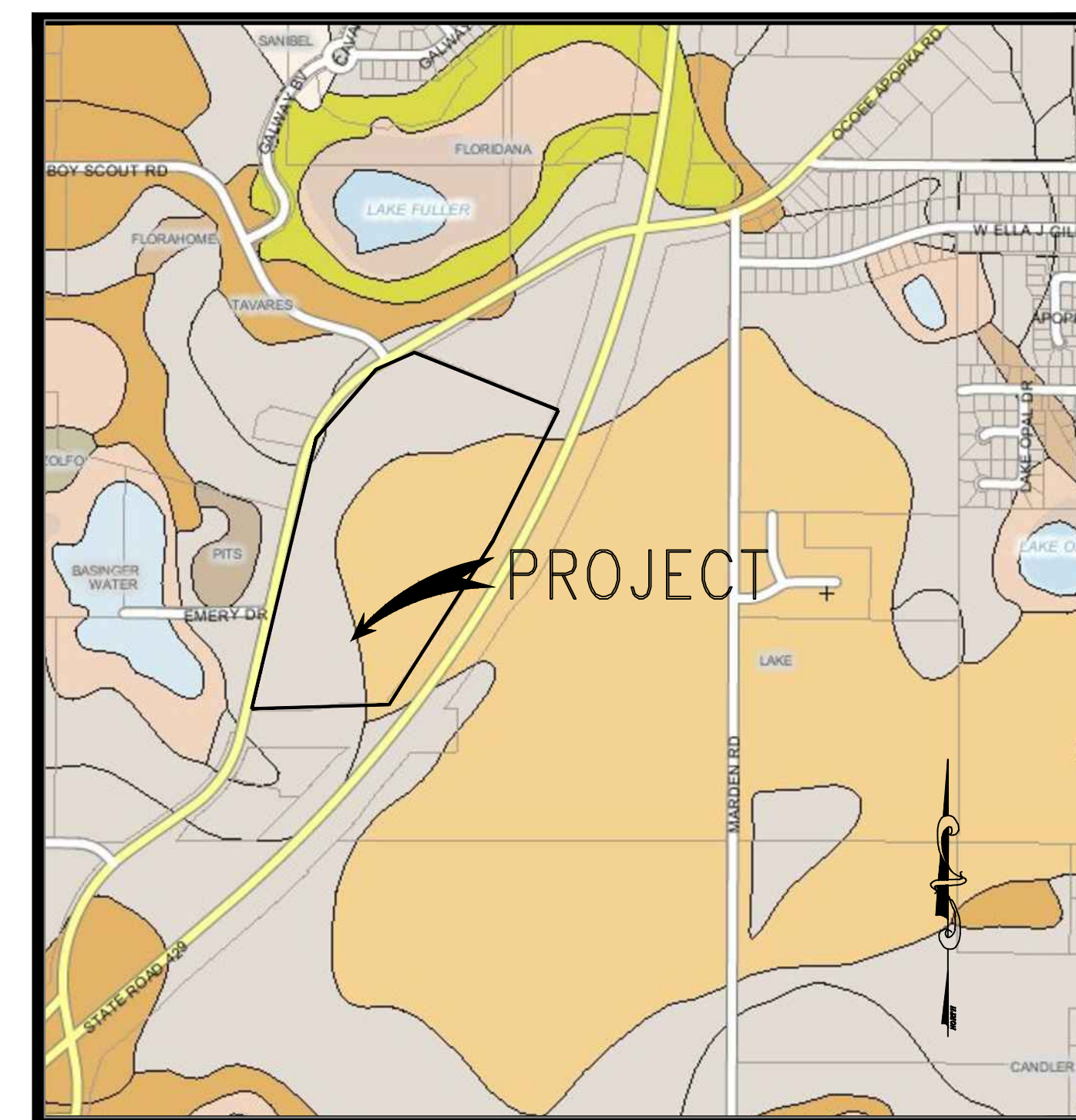
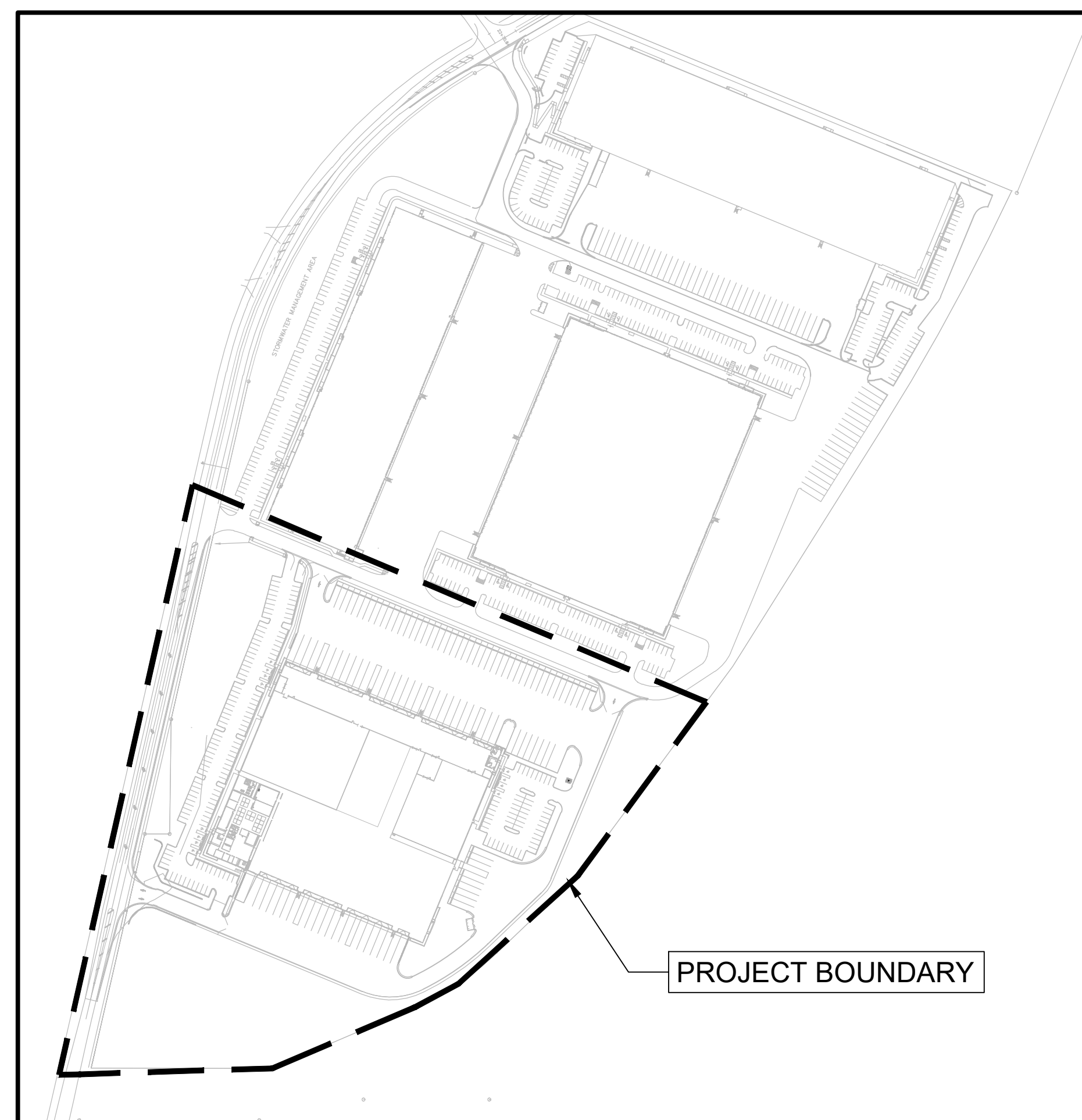
### OWNER OF RECORD

OAKMONT APOPKA ROAD LLC  
3520 Piedmont Rd., Suite 100  
Atlanta, Georgia 30305  
Ph: 404-869-9990

## SHEET INDEX

C-100	COVER SHEET
C-200	OVERALL PRELIMINARY SITE DEVELOPMENT PLAN
C-201	PRELIMINARY SITE DEVELOPMENT PLAN
C-202	PRELIMINARY SITE DEVELOPMENT PLAN
C-203	PRELIMINARY SITE DEVELOPMENT PLAN
C-204	PRELIMINARY SITE DEVELOPMENT PLAN
C-300	GENERAL DETAILS
C-301	GENERAL DETAILS
C-302	BUILDING AND DIRECTIONAL SIGN PLAN (PREVIOUSLY APPROVED BY THE CITY)
L-1 THRU L-5	PRELIMINARY LANDSCAPE PLAN
EP01, EP02	PRELIMINARY PHOTOMETRIC PLAN
S1 THRU S5	SURVEY
A-5.1, A-5.2	BUILDING ELEVATIONS

## OVERALL SITE LAYOUT PLAN SEC. 17, TSP 21S, R 28E. APOPKA, FLORIDA

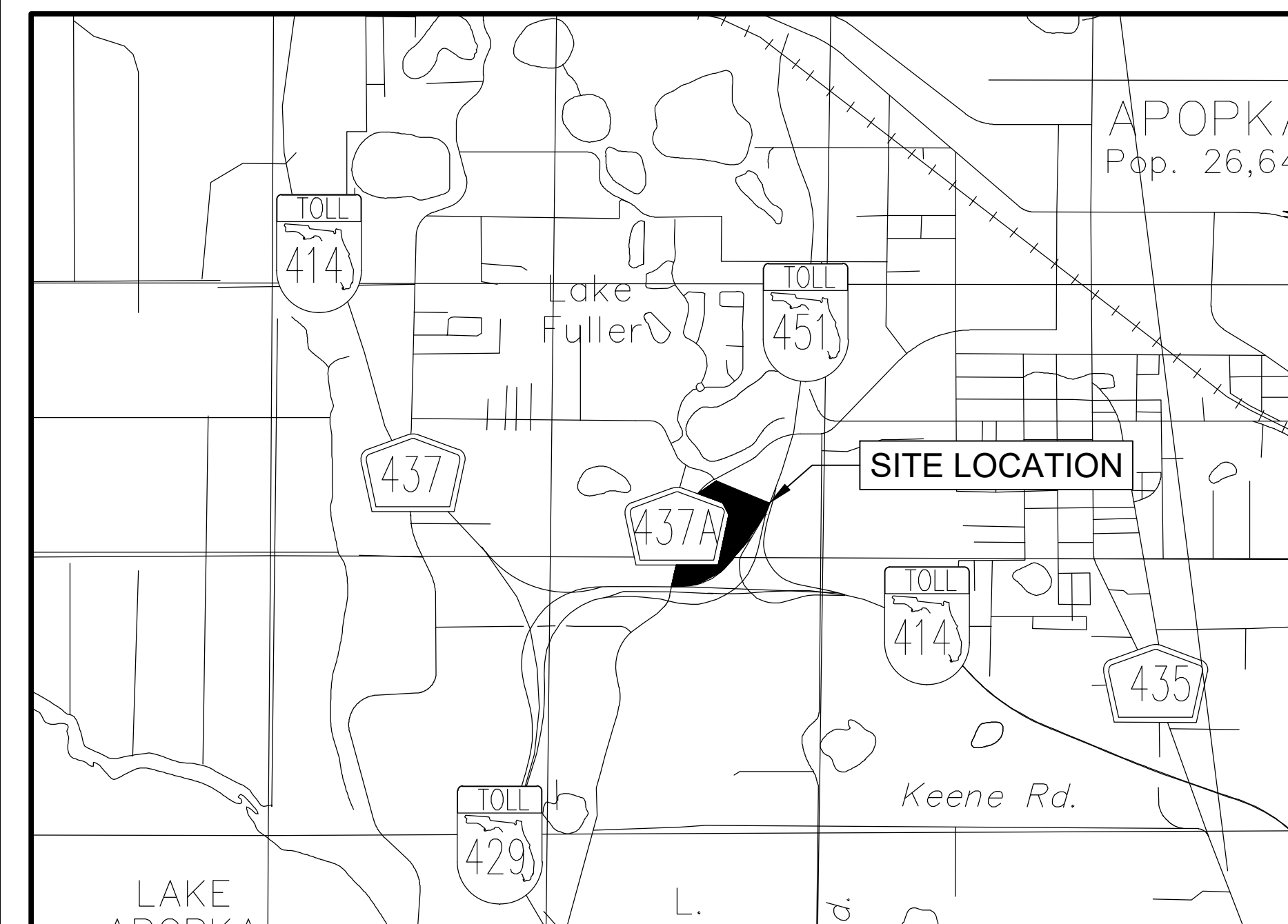


## SOILS MAP

LAKE:  
THE LAKE SERIES CONSISTS OF EXCESSIVELY DRAINED SOILS THAT FORMED IN SANDY MARINE SEDIMENT. THE SLOPES RANGE FROM 0 TO 5 PERCENT.  
HYDROLOGIC GROUP: A  
WATER TABLE: >6.0

CANDLER:  
THE CANDLER SERIES CONSISTS OF EXCESSIVELY DRAINED, VERY RAPIDLY PERMEABLE SOILS. THE SLOPES RANGE FROM 0 TO 12 PERCENT.  
HYDROLOGIC GROUP: A  
WATER TABLE: >6.0

## LOCATION MAP



NORTHWEST DISTRIBUTION CENTER - BUILDING D

COVER SHEET



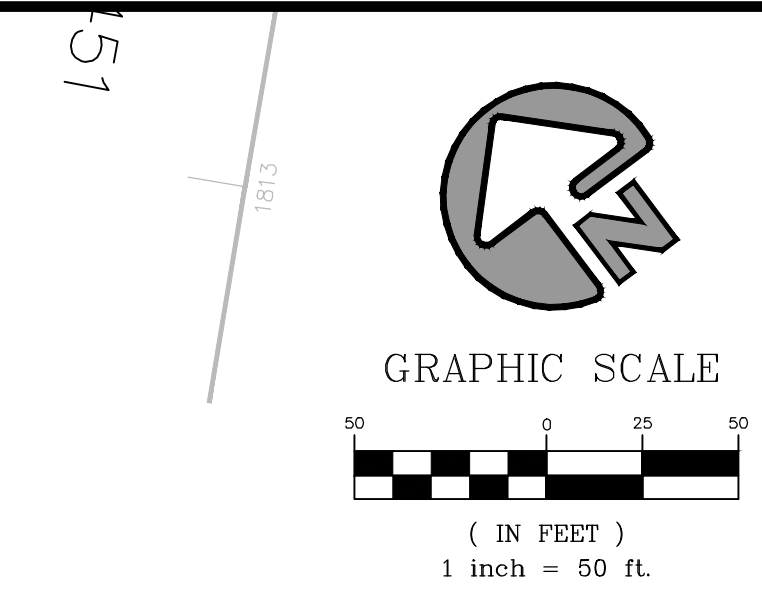
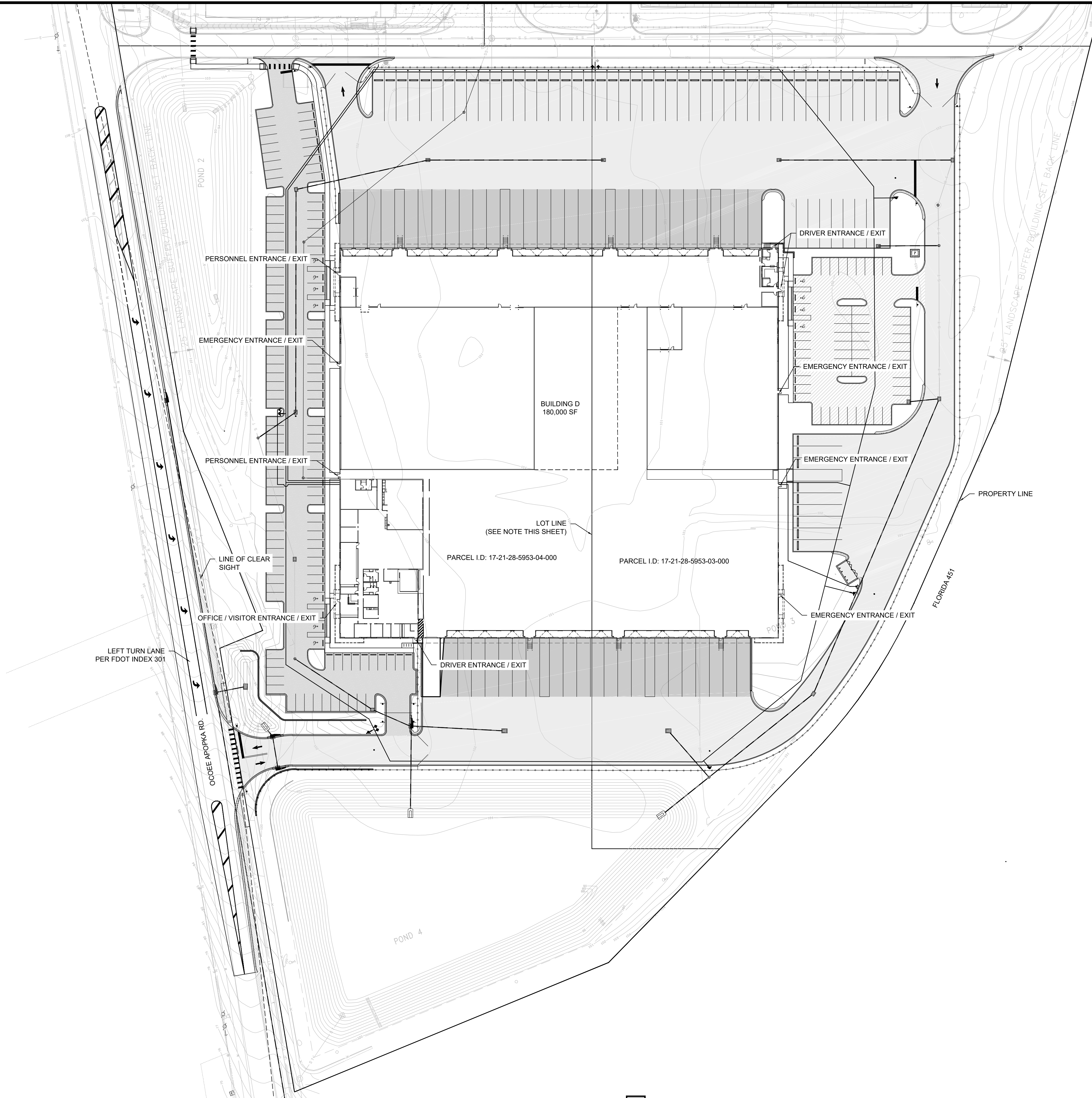
JOB No.: OIG-002.04  
DESIGNED BY: JB  
DRAWN BY: DB  
APPROVED BY: JB  
DATE: 07-01-2016  
SHEET: C-100

NOT FOR CONSTRUCTION  
PRELIMINARY PLANS

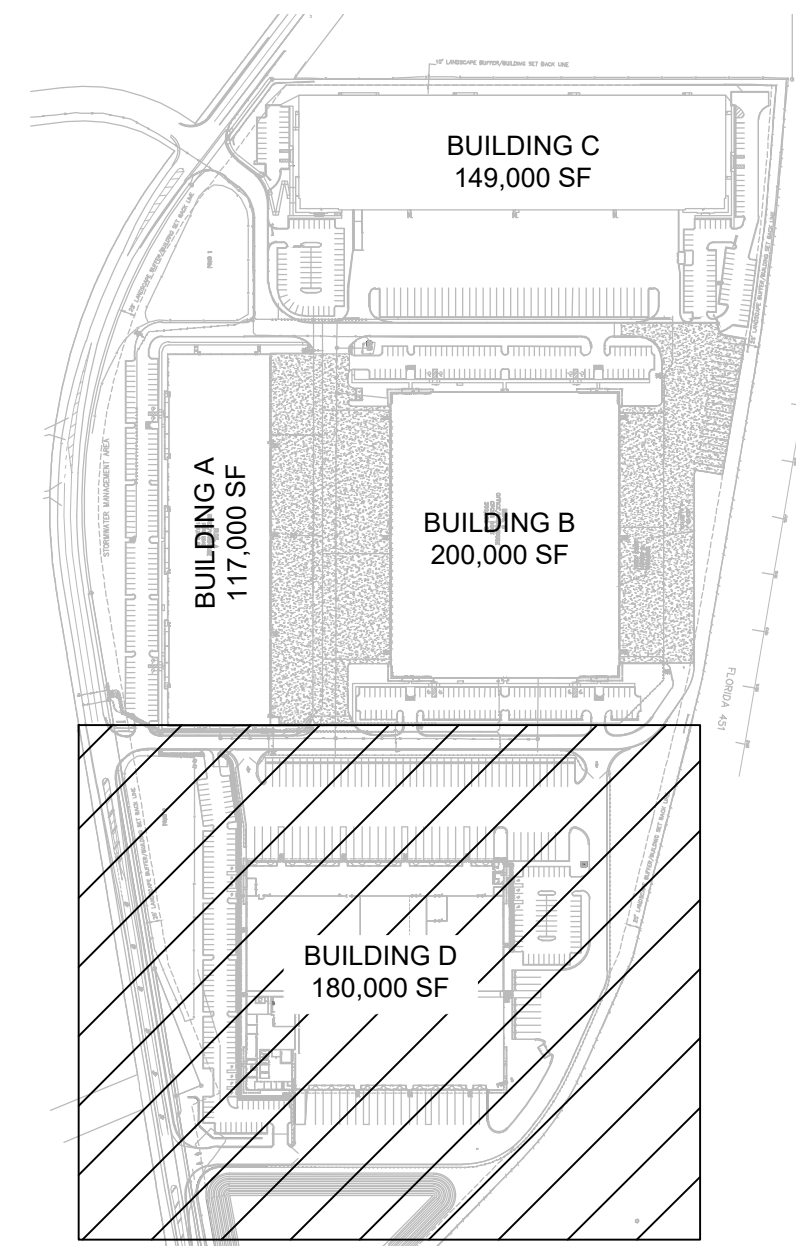
JEFFERY W. BANKER, P.E.  
REGISTRATION No. 64122  
DATE:

REV.	DATE	DESCRIPTION
1	08/02/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/19/16





NOTE:  
PID 17-21-28-5953-04-000 & 17-21-28-5953-03-000 WILL  
BE UNIFIED INTO A SINGLE PARCEL ID WITH THE  
ORANGE COUNTY PROPERTY APPRAISER.



REV.	DATE	DESCRIPTION	APP'D BY
1	08/02/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/13/16	JB

**NORTHWEST DISTRIBUTION CENTER - BUILDING D**  
**OVERALL PRELIMINARY SITE DEVELOPMENT PLAN**

**HIGHLAND ENGINEERING, INC.**  
79 WEST LILIANA ST  
Orlando, Florida 32806  
Office: (407) 275-7877  
Fax: (407) 275-7901  
CA No. 27612

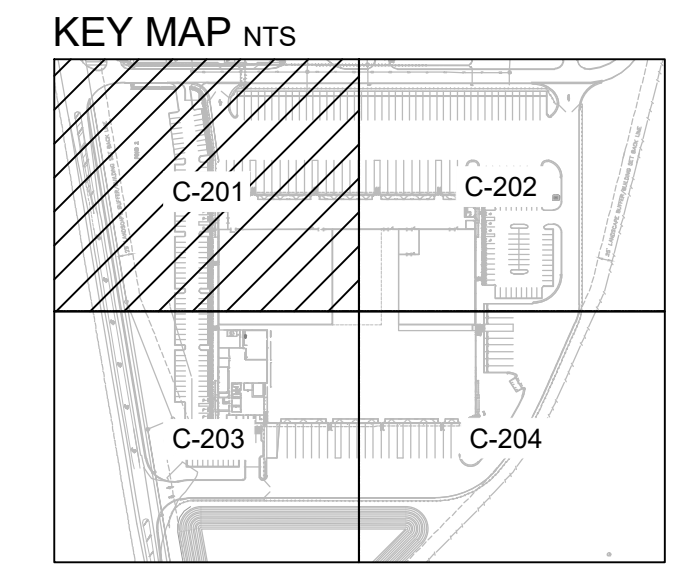
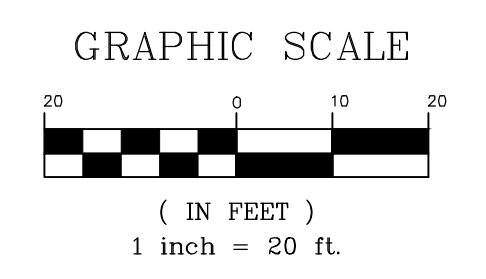
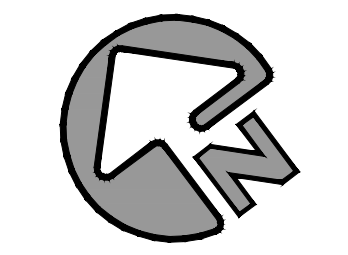
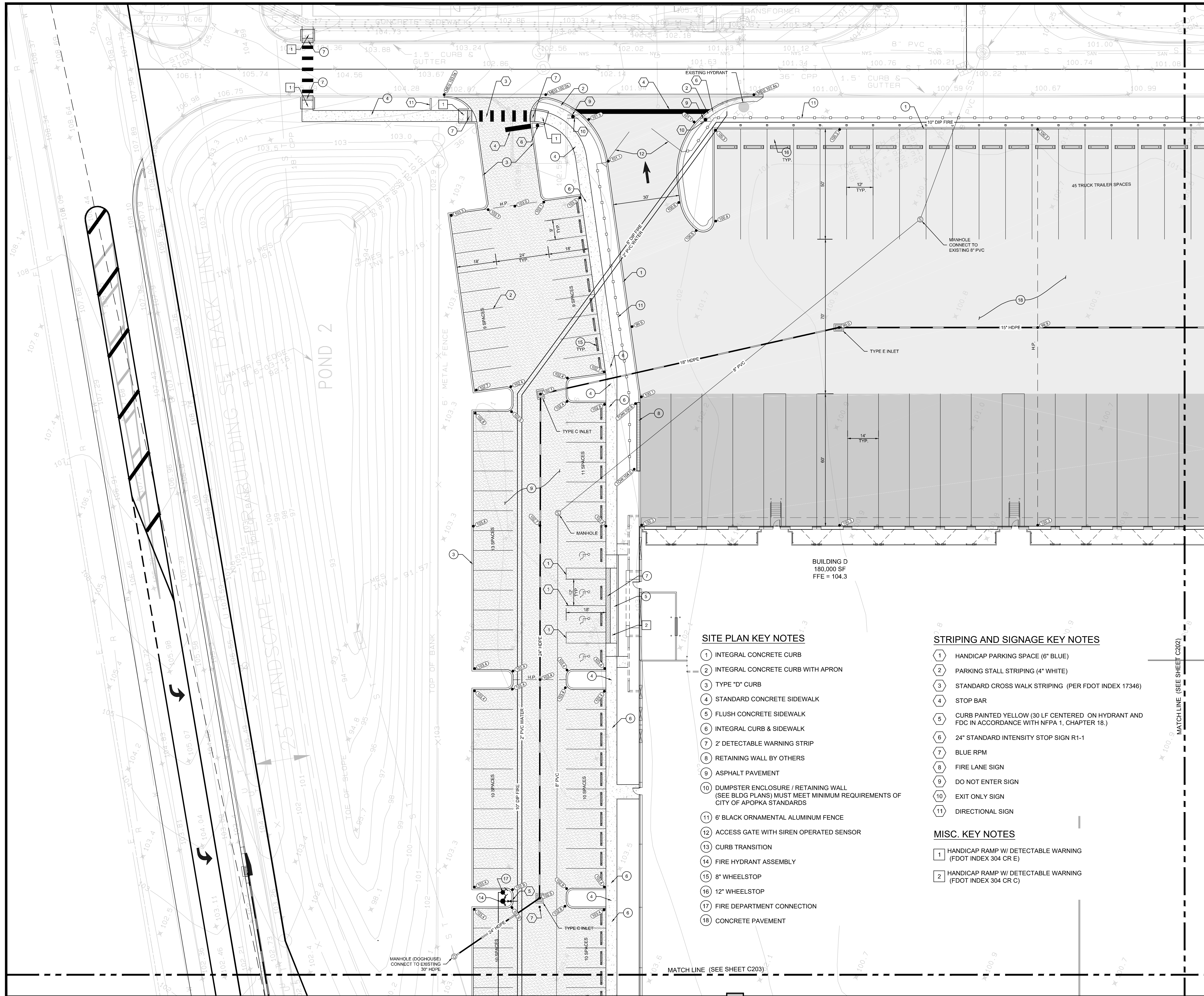
JOB No.:	OIG-002.04
DESIGNED BY:	JB
DRAWN BY:	DB
APPROVED BY:	JB
DATE:	07-01-2016
SHEET:	C-200

NOT FOR CONSTRUCTION  
PRELIMINARY PLANS

JEFFERY W. BANKER, P.E.  
REGISTRATION No. 64122

DATE:





- LEGEND / ABBREVIATIONS
- 7" HEAVY DUTY CONCRETE PAVEMENT
  - 6" CONCRETE DOCK PAVEMENT
  - ASPHALT PAVEMENT
  - CONCRETE SIDEWALK
  - FENCING
  - BSL BUILDING SETBACK LINE
  - LB LANDSCAPE BUFFER
  - RPM REFLECTIVE PAVEMENT MARKER
  - H.P. HIGH POINT
  - PIV POST INDICATOR VALVE
  - FDC FIRE DEPARTMENT CONNECTION

**SITE PLAN KEY NOTES**

- 1 INTEGRAL CONCRETE CURB
- 2 INTEGRAL CONCRETE CURB WITH APRON
- 3 TYPE "D" CURB
- 4 STANDARD CONCRETE SIDEWALK
- 5 FLUSH CONCRETE SIDEWALK
- 6 INTEGRAL CURB & SIDEWALK
- 7 2" DETECTABLE WARNING STRIP
- 8 RETAINING WALL BY OTHERS
- 9 ASPHALT PAVEMENT
- 10 DUMPSTER ENCLOSURE / RETAINING WALL (SEE BLDG PLANS) MUST MEET MINIMUM REQUIREMENTS OF CITY OF APOPKA STANDARDS
- 11 6" BLACK ORNAMENTAL ALUMINUM FENCE
- 12 ACCESS GATE WITH SIREN OPERATED SENSOR
- 13 CURB TRANSITION
- 14 FIRE HYDRANT ASSEMBLY
- 15 8" WHEELSTOP
- 16 12" WHEELSTOP
- 17 FIRE DEPARTMENT CONNECTION
- 18 CONCRETE PAVEMENT

**STRIPING AND SIGNAGE KEY NOTES**

- 1 HANDICAP PARKING SPACE (6" BLUE)
- 2 PARKING STALL STRIPING (4" WHITE)
- 3 STANDARD CROSS WALK STRIPING (PER FDOT INDEX 17346)
- 4 STOP BAR
- 5 CURB PAINTED YELLOW (30 LF CENTERED ON HYDRANT AND FDC IN ACCORDANCE WITH NFPA 1, CHAPTER 18.)
- 6 24" STANDARD INTENSITY STOP SIGN R1-1
- 7 BLUE RPM
- 8 FIRE LANE SIGN
- 9 DO NOT ENTER SIGN
- 10 EXIT ONLY SIGN
- 11 DIRECTIONAL SIGN

**MISC. KEY NOTES**

- 1 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR E)
- 2 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR C)

**NORTHWEST DISTRIBUTION CENTER - BUILDING D**

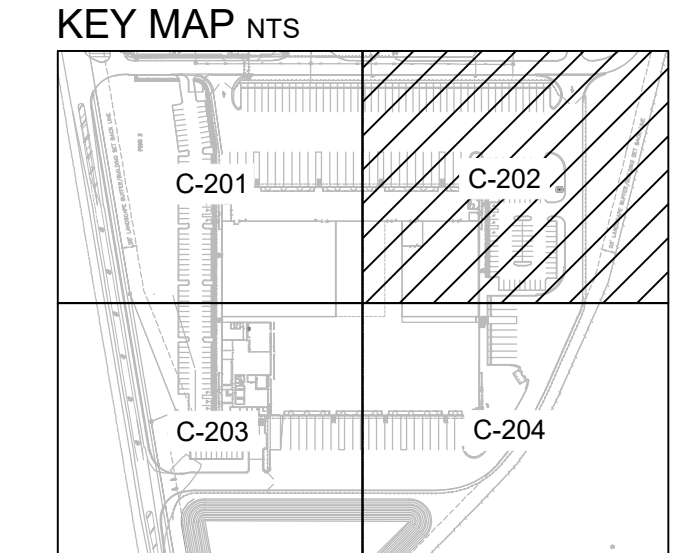
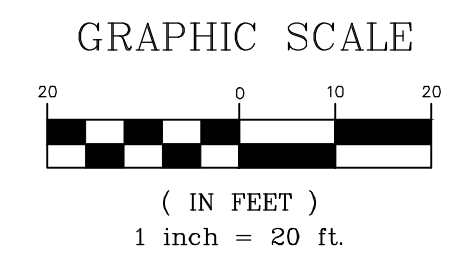
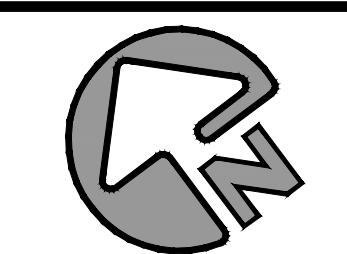
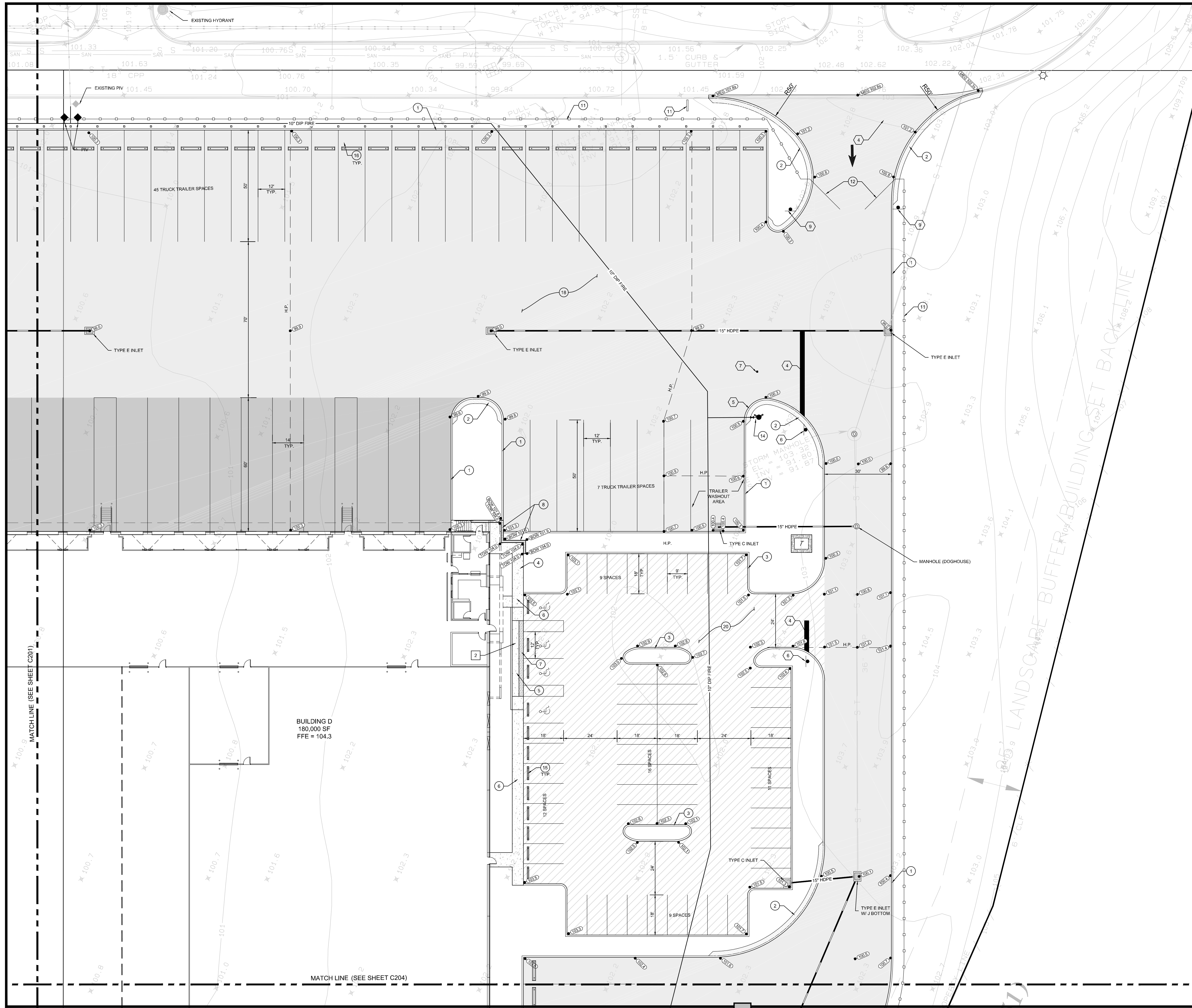
**PRELIMINARY SITE DEVELOPMENT PLAN**



JOB No.:	OIG-002.04
DESIGNED BY:	JB
DRAWN BY:	DB
APPROVED BY:	JB
DATE:	07-01-2016
SHEET:	C-201
NOT FOR CONSTRUCTION PRELIMINARY PLANS	
JEFFERY W. BANKER, P.E. REGISTRATION No. 64122	
DATE:	

REV.	DATE	DESCRIPTION
2	08/23/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/10/16
1	08/02/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/13/16





LEGEND / ABBREVIATIONS

- 7" HEAVY DUTY CONCRETE PAVEMENT
- 6" CONCRETE DOCK PAVEMENT
- PERVIOUS CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- FENCING
- BSL BUILDING SETBACK LINE
- LB LANDSCAPE BUFFER
- RPM REFLECTIVE PAVEMENT MARKER
- H.P. HIGH POINT
- P.V. POST INDICATOR VALVE
- FDC FIRE DEPARTMENT CONNECTION

SITE PLAN KEY NOTES

- 1 INTEGRAL CONCRETE CURB
- 2 INTEGRAL CONCRETE CURB WITH APRON
- 3 TYPE "D" CURB
- 4 STANDARD CONCRETE SIDEWALK
- 5 FLUSH CONCRETE SIDEWALK
- 6 INTEGRAL CURB & SIDEWALK
- 7 2' DETECTABLE WARNING STRIP
- 8 RETAINING WALL BY OTHERS
- 9 ASPHALT PAVEMENT
- 10 DUMPSTER ENCLOSURE / RETAINING WALL (SEE BLDG PLANS) MUST MEET MINIMUM REQUIREMENTS OF CITY OF APOPKA STANDARDS
- 11 6' BLACK ORNAMENTAL ALUMINUM FENCE
- 12 ACCESS GATE WITH SIREN OPERATED SENSOR
- 13 CURB TRANSITION
- 14 FIRE HYDRANT ASSEMBLY
- 15 8" WHEELSTOP
- 16 12" WHEELSTOP
- 18 CONCRETE PAVEMENT
- 20 PERVIOUS CONCRETE PAVEMENT

STRIPING AND SIGNAGE KEY NOTES

- 1 HANDICAP PARKING SPACE (6" BLUE)
- 2 PARKING STALL STRIPING (4" WHITE)
- 3 STANDARD CROSS WALK STRIPING (PER FDOT INDEX 17346)
- 4 STOP BAR
- 5 CURB PAINTED YELLOW (30 LF CENTERED ON HYDRANT AND FDC IN ACCORDANCE WITH NFPA 1, CHAPTER 18.)
- 6 24" STANDARD INTENSITY STOP SIGN R1-1
- 7 BLUE RPM
- 8 FIRE LANE SIGN
- 9 DO NOT ENTER SIGN
- 10 EXIT ONLY SIGN
- 11 DIRECTIONAL SIGN

MISC. KEY NOTES

- 1 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR E)
- 2 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR C)

NORTHWEST DISTRIBUTION CENTER - BUILDING D

PRELIMINARY SITE DEVELOPMENT PLAN



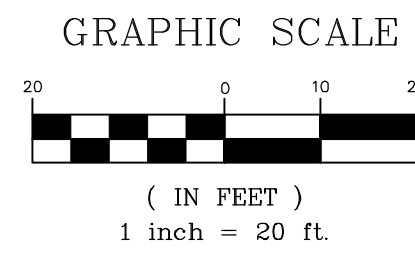
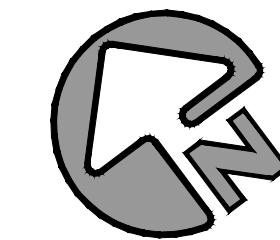
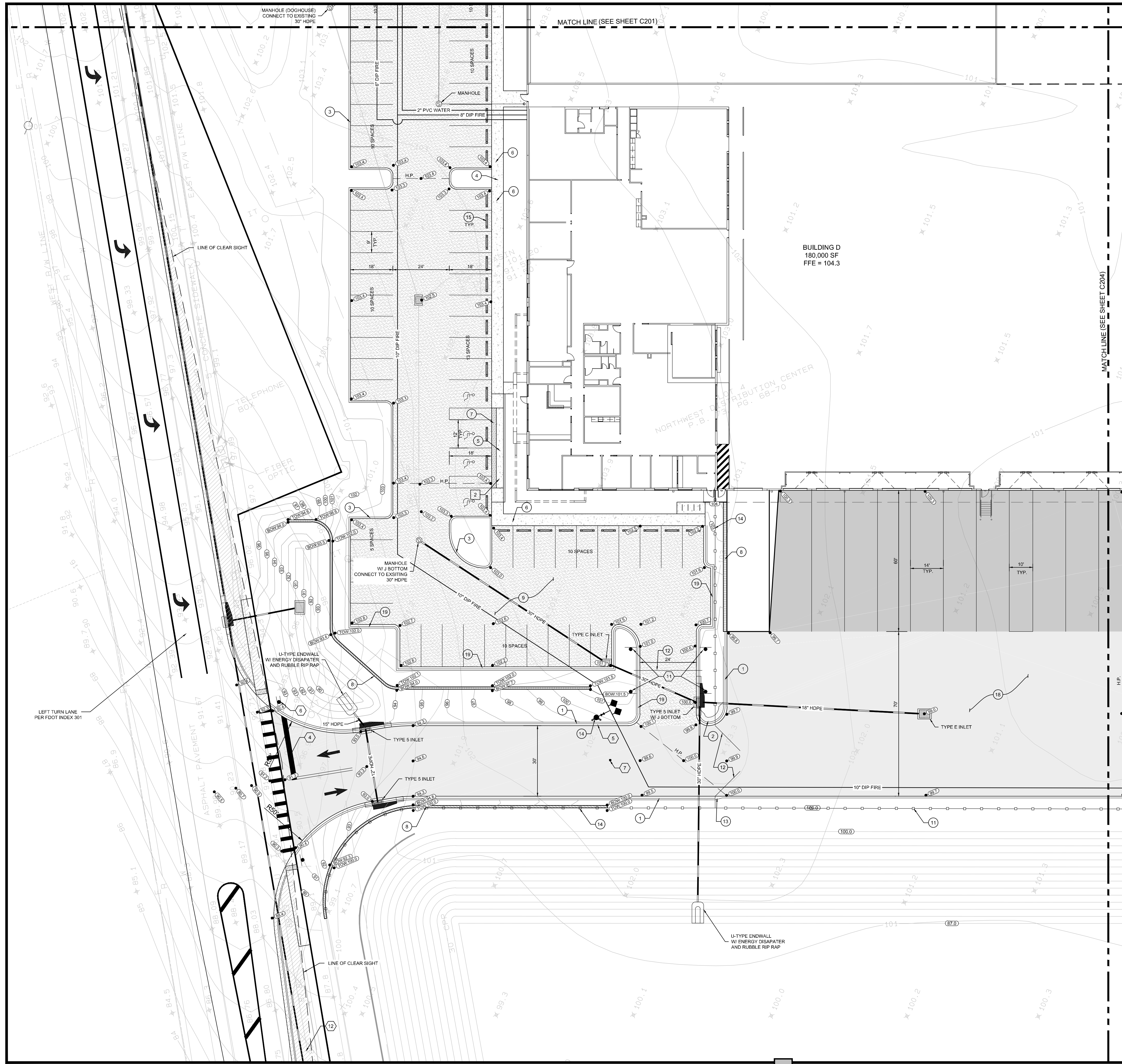
JOB No.:	OIG-002.04
DESIGNED BY:	JB
DRAWN BY:	DB
APPROVED BY:	JB
DATE:	07-01-2016
SHEET:	C-202

NOT FOR CONSTRUCTION  
PRELIMINARY PLANS

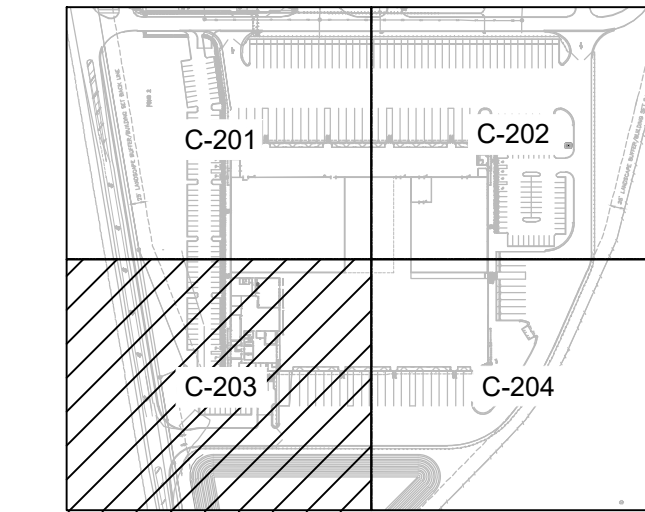
JEFFERY W. BANKER, P.E.  
REGISTRATION No. 64122  
DATE:

REV.	DATE	DESCRIPTION
2	08/23/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/10/16
1	08/02/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/13/16





KEY MAP NTS



LEGEND / ABBREVIATIONS

- 7" HEAVY DUTY CONCRETE PAVEMENT
- 6" CONCRETE DOCK PAVEMENT
- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- FENCING
- BSL BUILDING SETBACK LINE
- LB LANDSCAPE BUFFER
- RPM REFLECTIVE PAVEMENT MARKER
- H.P. HIGH POINT
- PIV POST INDICATOR VALVE
- FDC FIRE DEPARTMENT CONNECTION

SITE PLAN KEY NOTES

- 1 INTEGRAL CONCRETE CURB
- 2 INTEGRAL CONCRETE CURB WITH APRON
- 3 TYPE "D" CURB
- 4 STANDARD CONCRETE SIDEWALK
- 5 FLUSH CONCRETE SIDEWALK
- 6 INTEGRAL CURB & SIDEWALK
- 7 2' DETECTABLE WARNING STRIP
- 8 RETAINING WALL BY OTHERS
- 9 ASPHALT PAVEMENT (SEE DETAIL SHEET C-300)
- 11 6" BLACK ORNAMENTAL ALUMINUM FENCE
- 12 CHAINLINK FENCE GATE
- 13 CURB TRANSITION
- 14 FIRE HYDRANT ASSEMBLY
- 15 8" CURB STOP
- 17 FIRE DEPARTMENT CONNECTION
- 18 CONCRETE PAVEMENT
- 19 MODIFIED TYPE F CURB

STRIPING AND SIGNAGE KEY NOTES

- 1 HANDICAP PARKING SPACE (6" BLUE)
- 2 PARKING STALL STRIPING (4" WHITE)
- 3 STANDARD CROSS WALK STRIPING (PER FDOT INDEX 17346)
- 4 STOP BAR
- 5 CURB PAINTED YELLOW (30 LF CENTERED ON HYDRANT AND FDC IN ACCORDANCE WITH NFPA 1, CHAPTER 18.)
- 6 24" STANDARD INTENSITY STOP SIGN R1-1
- 7 BLUE RPM
- 8 FIRE LANE SIGN
- 9 DO NOT ENTER SIGN
- 10 EXIT ONLY SIGN
- 11 EMERGENCY VEHICLE ONLY
- 12 TRUCK TRAFFIC FIRST RIGHT, PASSENGER CARS SECOND RIGHT

MISC. KEY NOTES

- 1 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR E)
- 2 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR C)

NORTHWEST DISTRIBUTION CENTER - BUILDING D

PRELIMINARY SITE DEVELOPMENT PLAN



HIGHLAND ENGINEERING, INC.  
79 WEST LLIANA ST.  
Orlando, Florida 32806  
Office: (407) 275-7877  
Fax: (407) 275-7901  
CA No. 27612

JOB No.:	OIG-002.04
DESIGNED BY:	JB
DRAWN BY:	DB
APPROVED BY:	JB
DATE:	07-01-2016
SHEET:	C-203

NOT FOR CONSTRUCTION  
PRELIMINARY PLANS

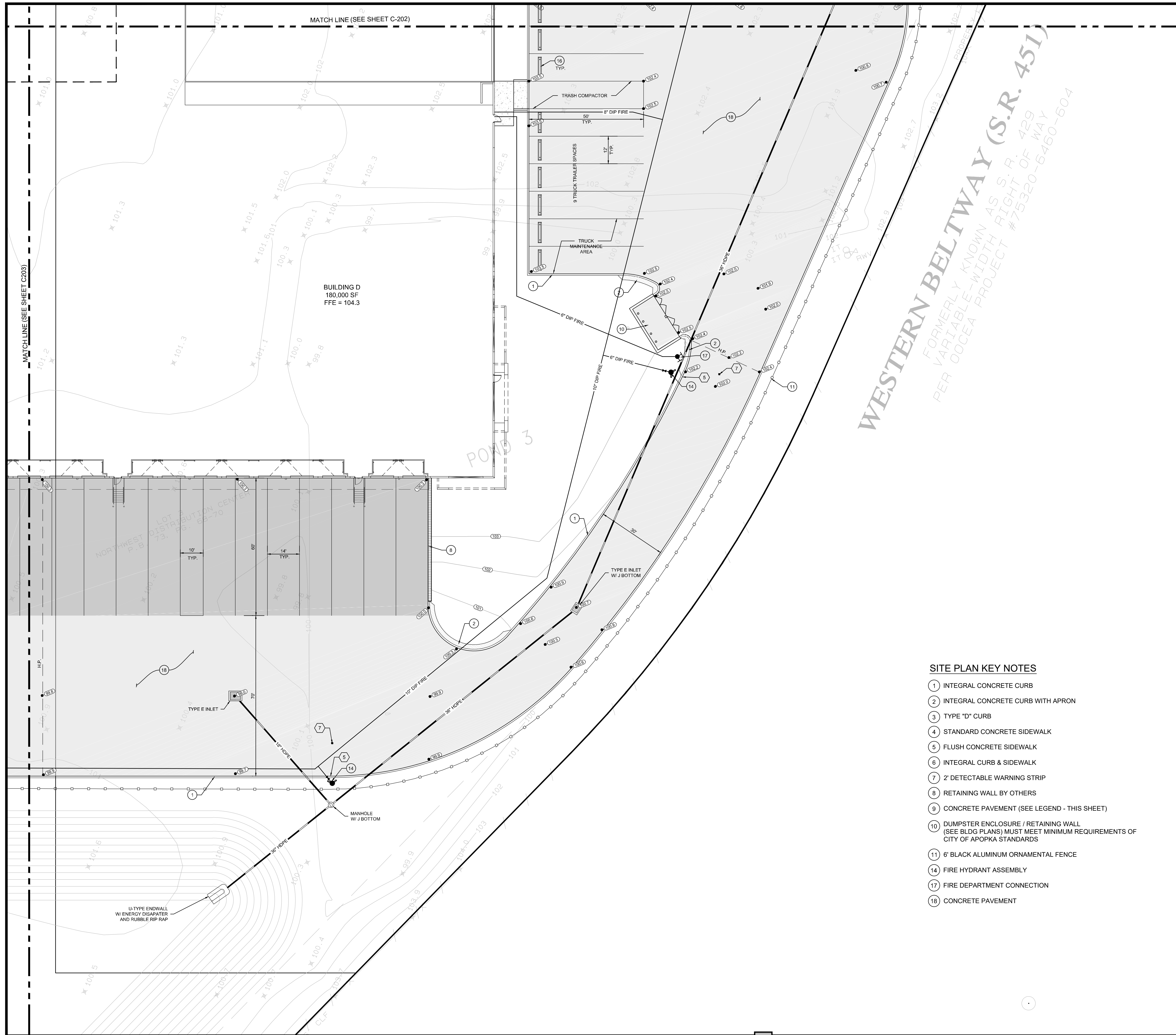
JEFFERY W. BANKER, P.E.  
REGISTRATION No. 64122

DATE:

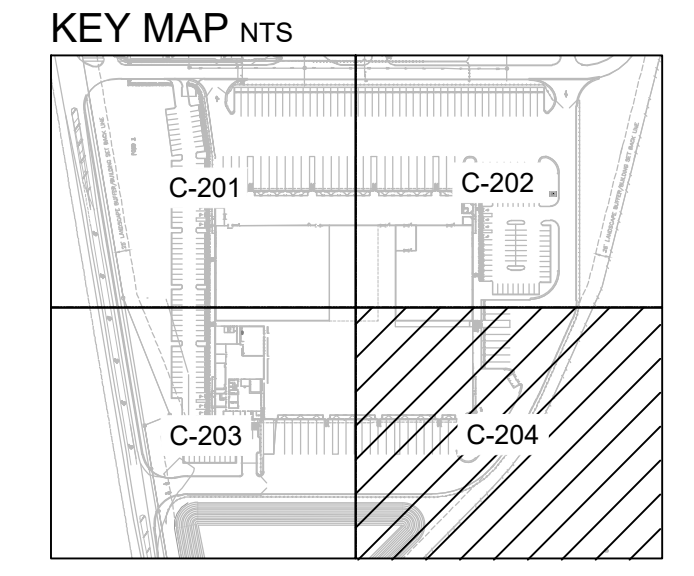
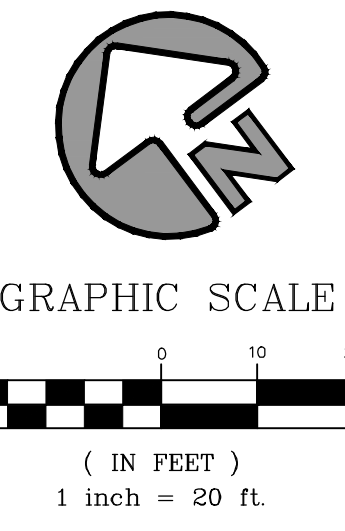
REV.	DATE	DESCRIPTION
2	08/23/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/10/16
1	08/02/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/13/16

APP'D BY	DATE	DESCRIPTION
JB		





**WESTERN BELTWAY (S.R. 451)**  
 FORMERLY KNOWN AS S.R. 429  
 PER OCCEA PROJECT #75320-6460-604



- LEGEND / ABBREVIATIONS**
- 7" HEAVY DUTY CONCRETE PAVEMENT
  - 6" CONCRETE DOCK PAVEMENT
  - ASPHALT PAVEMENT
  - CONCRETE SIDEWALK
  - FENCING
  - BSL BUILDING SETBACK LINE
  - LB LANDSCAPE BUFFER
  - RPM REFLECTIVE PAVEMENT MARKER
  - H.P. HIGH POINT
  - PIV POST INDICATOR VALVE
  - FDC FIRE DEPARTMENT CONNECTION

- SITE PLAN KEY NOTES**
- 1 INTEGRAL CONCRETE CURB
  - 2 INTEGRAL CONCRETE CURB WITH APRON
  - 3 TYPE "D" CURB
  - 4 STANDARD CONCRETE SIDEWALK
  - 5 FLUSH CONCRETE SIDEWALK
  - 6 INTEGRAL CURB & SIDEWALK
  - 7 2" DETECTABLE WARNING STRIP
  - 8 RETAINING WALL BY OTHERS
  - 9 CONCRETE PAVEMENT (SEE LEGEND - THIS SHEET)
  - 10 DUMPSTER ENCLOSURE / RETAINING WALL (SEE BLDG PLANS) MUST MEET MINIMUM REQUIREMENTS OF CITY OF APOPKA STANDARDS
  - 11 6" BLACK ALUMINUM ORNAMENTAL FENCE
  - 14 FIRE HYDRANT ASSEMBLY
  - 17 FIRE DEPARTMENT CONNECTION
  - 18 CONCRETE PAVEMENT

- STRIPING AND SIGNAGE KEY NOTES**
- 1 HANDICAP PARKING SPACE (6" BLUE)
  - 2 PARKING STALL STRIPING (4" WHITE)
  - 3 STANDARD CROSS WALK STRIPING (PER FDOT INDEX 17346)
  - 4 STOP BAR
  - 5 CURB PAINTED YELLOW (30 LF CENTERED ON HYDRANT AND FDC IN ACCORDANCE WITH NFPA 1, CHAPTER 18.)
  - 6 24" STANDARD INTENSITY STOP SIGN R1-1
  - 7 BLUE RPM
  - 8 FIRE LANE SIGN

- MISC. KEY NOTES**
- 1 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR E)
  - 2 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR C)

**NORTHWEST DISTRIBUTION CENTER - BUILDING D**  
**PRELIMINARY SITE DEVELOPMENT PLAN**



JOB No.:	OIG-002.04
DESIGNED BY:	JB
DRAWN BY:	DB
APPROVED BY:	JB
DATE:	07-01-2016
SHEET:	C-204

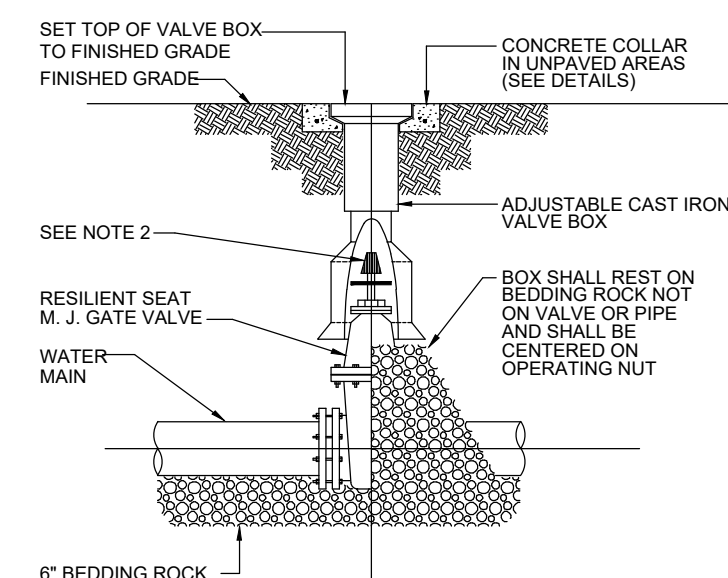
NOT FOR CONSTRUCTION  
 PRELIMINARY PLANS

JEFFERY W. BANKER, P.E.  
 REGISTRATION No. 64122  
 DATE:

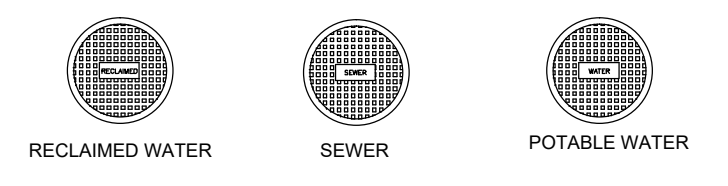
REV.	DATE	DESCRIPTION
2	08/23/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/10/16
1	08/02/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/13/16



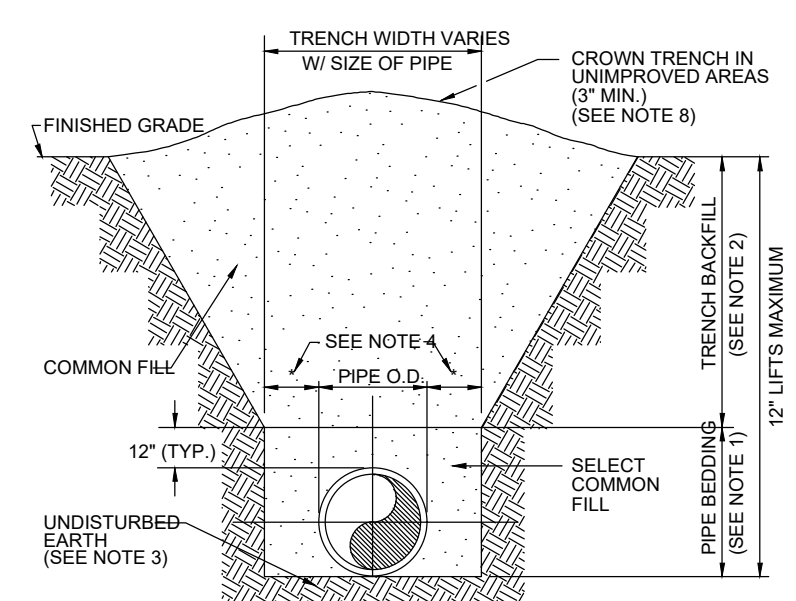




- NOTES:
1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
  2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.
  3. APPLY TWO COATS OF EXTERIOR ENAMEL PAINT TO VALVE COVER.
- PURPLE - RECLAIMED WATER  
GREEN - SEWER  
BLUE - POTABLE WATER

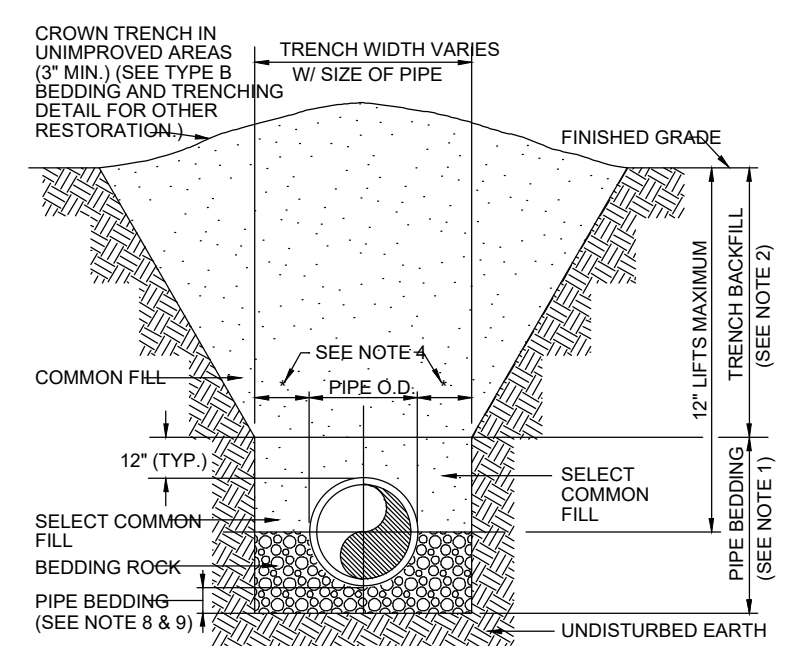


GATE VALVE, COVER AND BOX DETAIL



- NOTES:
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE CITY.
  4. (1) 15\"/>

TYPE B BEDDING AND TRENCHING DETAIL



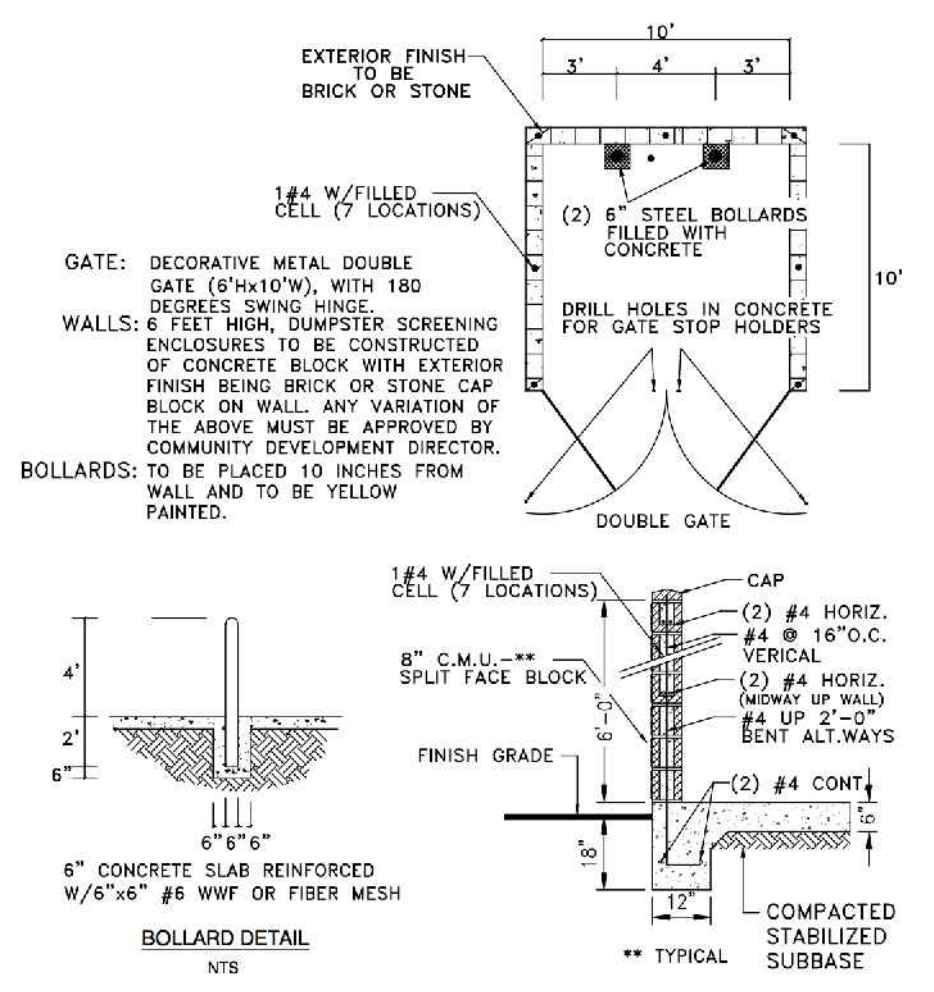
- NOTES:
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  3. USE TYPE A BEDDING TO BE DETERMINED IN THE FIELD AS DIRECTED BY THE CITY.
  4. (1) 15\"/>

TYPE A BEDDING AND TRENCHING DETAIL

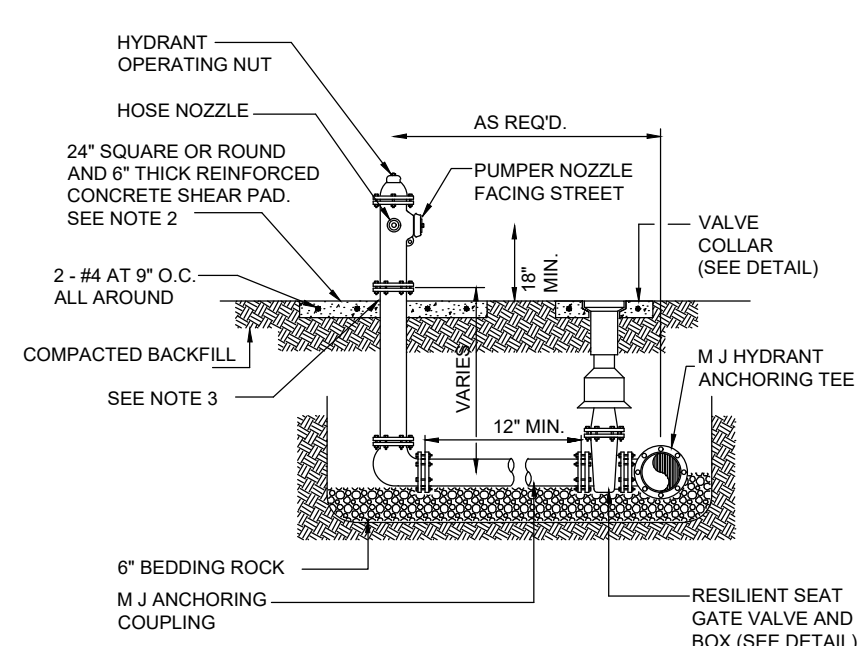
MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTINGS(S) *	PIPE SIZE							
	6"	8"	10"	12"	16"	18"	24"	30"
90° BEND	36	36	36	54	54	72	72	90
45° BEND	18	18	18	18	36	36	36	36
22-1/2° BEND	18	18	18	18	18	18	18	18
11-1/4° BEND	18	18	18	18	18	18	18	18
PLUG OR BRANCH OF TEE	18	36	36	54	90	108	108	144

- NOTES:
1. FITTINGS SHALL BE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.
  2. INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN SHOWN IN THE TABLE.
  3. WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
  4. IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
  5. LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, WITH THE FOLLOWING ASSUMPTIONS:  
WORKING PRESSURE: 150 P.S.I.  
SOIL DESIGNATION: SAND / SILT  
LAYING CONDITIONS: TYPE "A" BEDDING
  6. FOR PIPE ENCASED IN POLYETHYLENE, USE VALUES GIVEN IN PARENTHESES OR INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.
- \* TO BE COMPLETED BY THE ENGINEER.

RECLAIMED AND POTABLE WATER MAIN RESTRAINED PIPE TABLE.

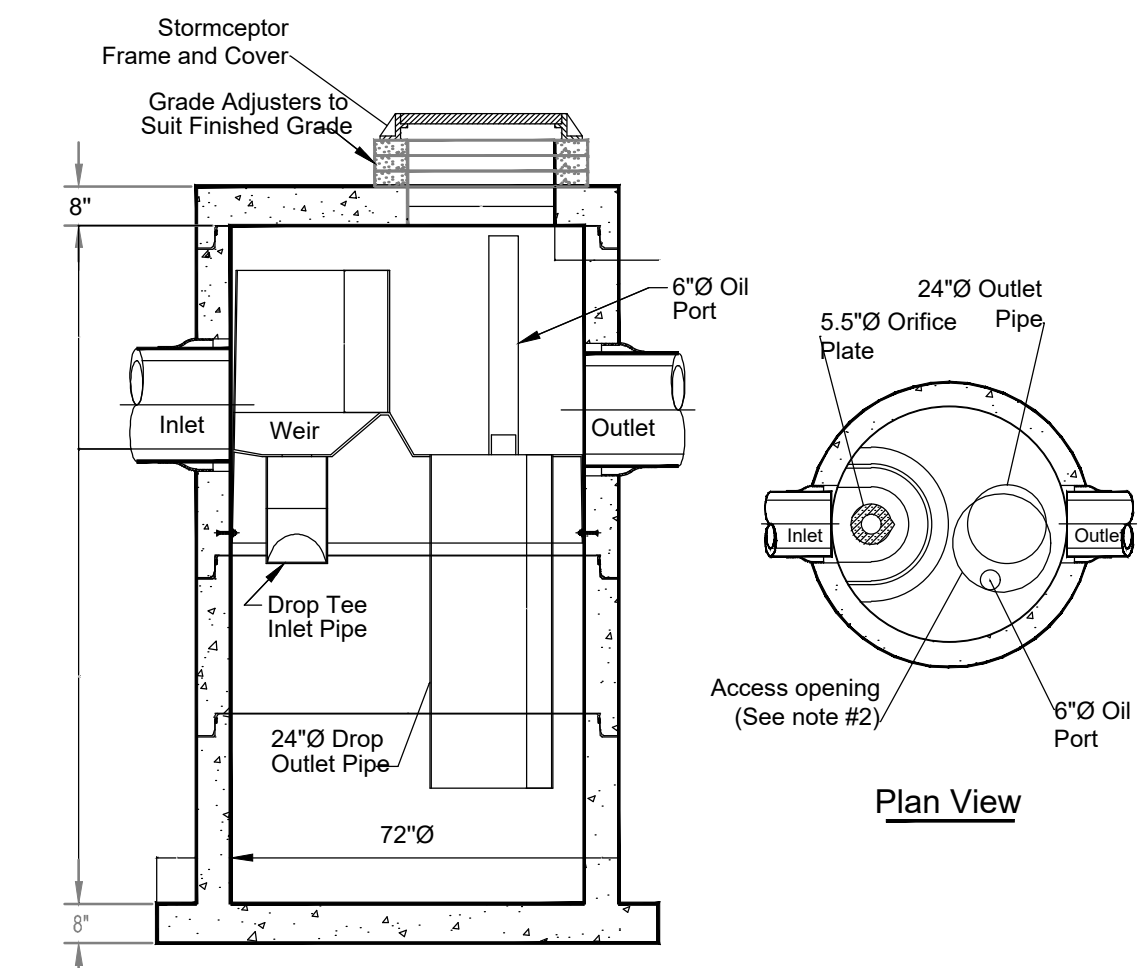


DUMPSTER ENCLOSURE DETAIL



- NOTES:
1. FIRE HYDRANT SHALL BE SUPPLIED WITHOUT A WEEP HOLE, OR WITH A PERMANENTLY PLUGGED WEEP HOLE.
  2. THE DEVELOPER MAY INSTALL THE SHEAR PAD RECESSED UP TO 4 INCHES BELOW FINISHED GRADE AND SOD THE RECESSED SECTION.
  3. CLEARANCE BETWEEN BOTTOM OF BOLTS AND TOP OF SHEAR PAD SHALL BE A 6\"/>

FIRE HYDRANT ASSEMBLY DETAIL



- Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
  2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
  3. The Stormceptor System is protected by one or more of the following U.S. Patents: #5753115, #5849181, #6068765, #6371690, #7582216, #7666303.
  4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

EOS 18-1000 Precast Concrete Stormceptor (1000 U.S. Gallon Oil Capacity) EOS 012715

NORTHWEST DISTRIBUTION CENTER - BUILDING D

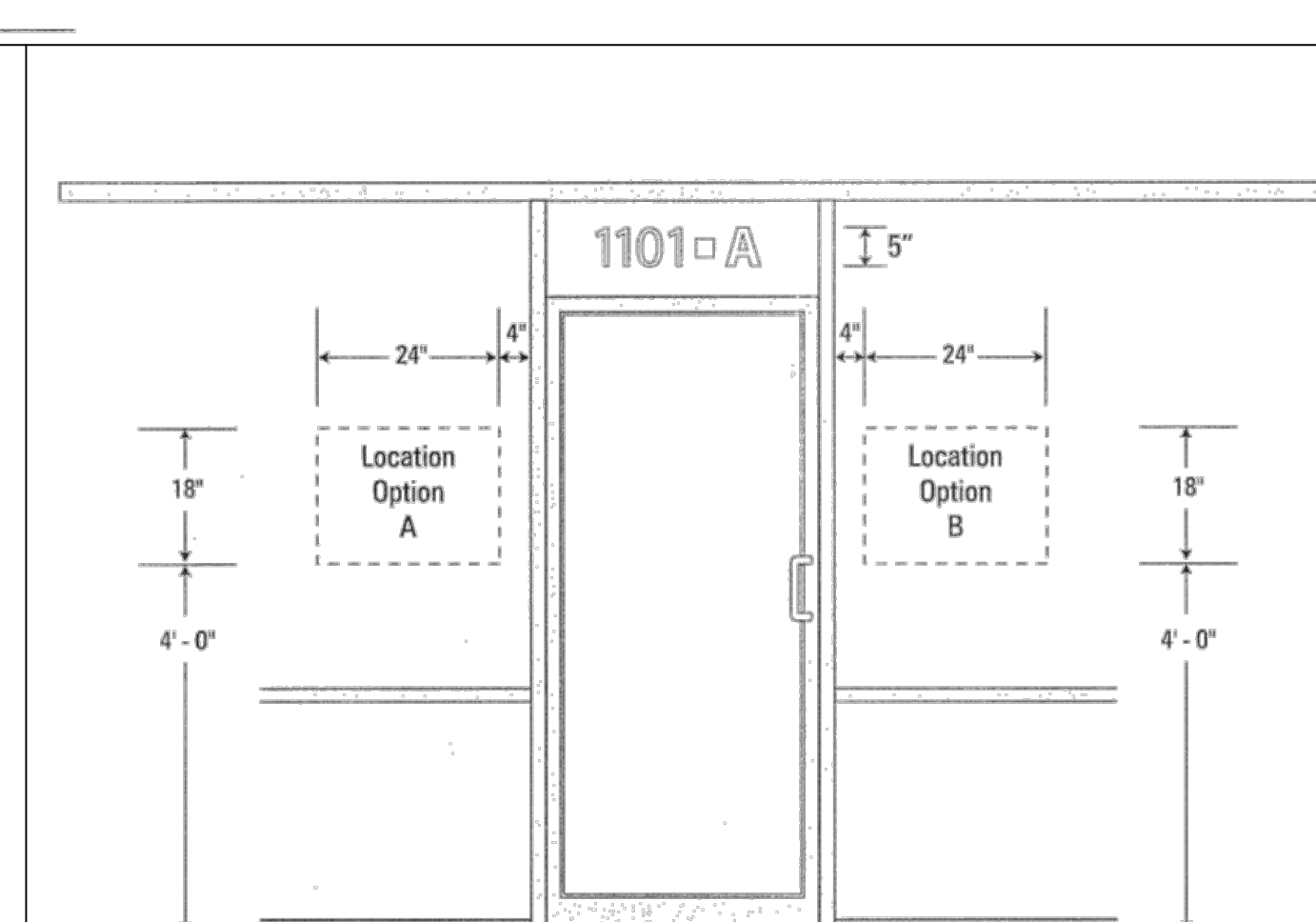
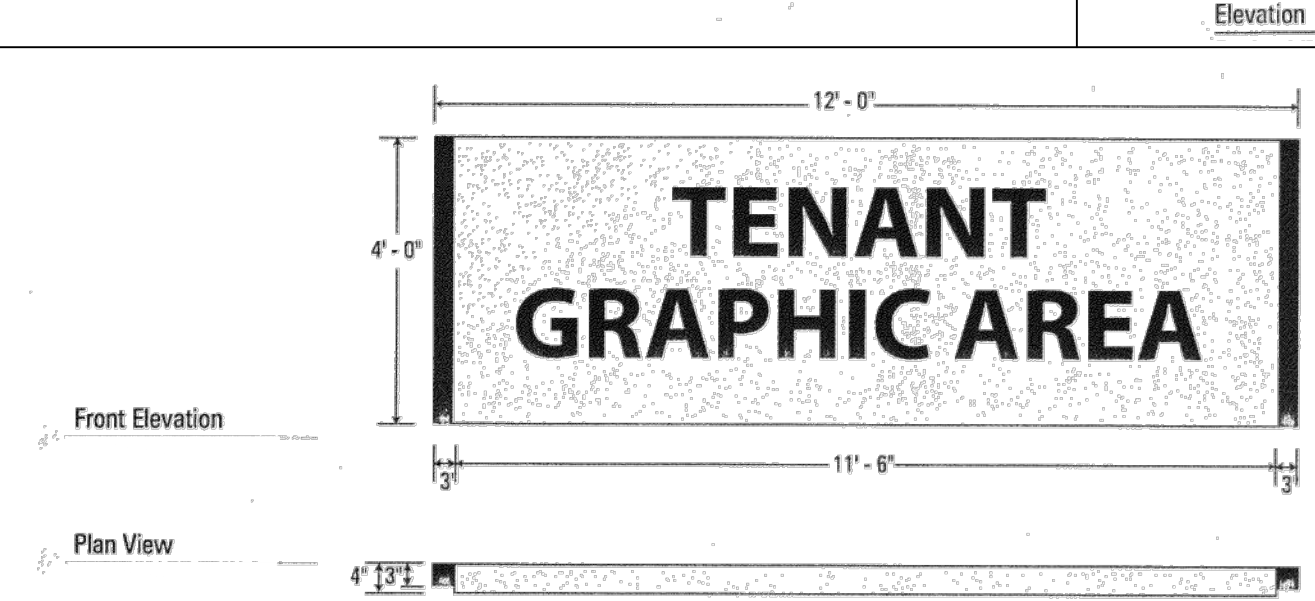
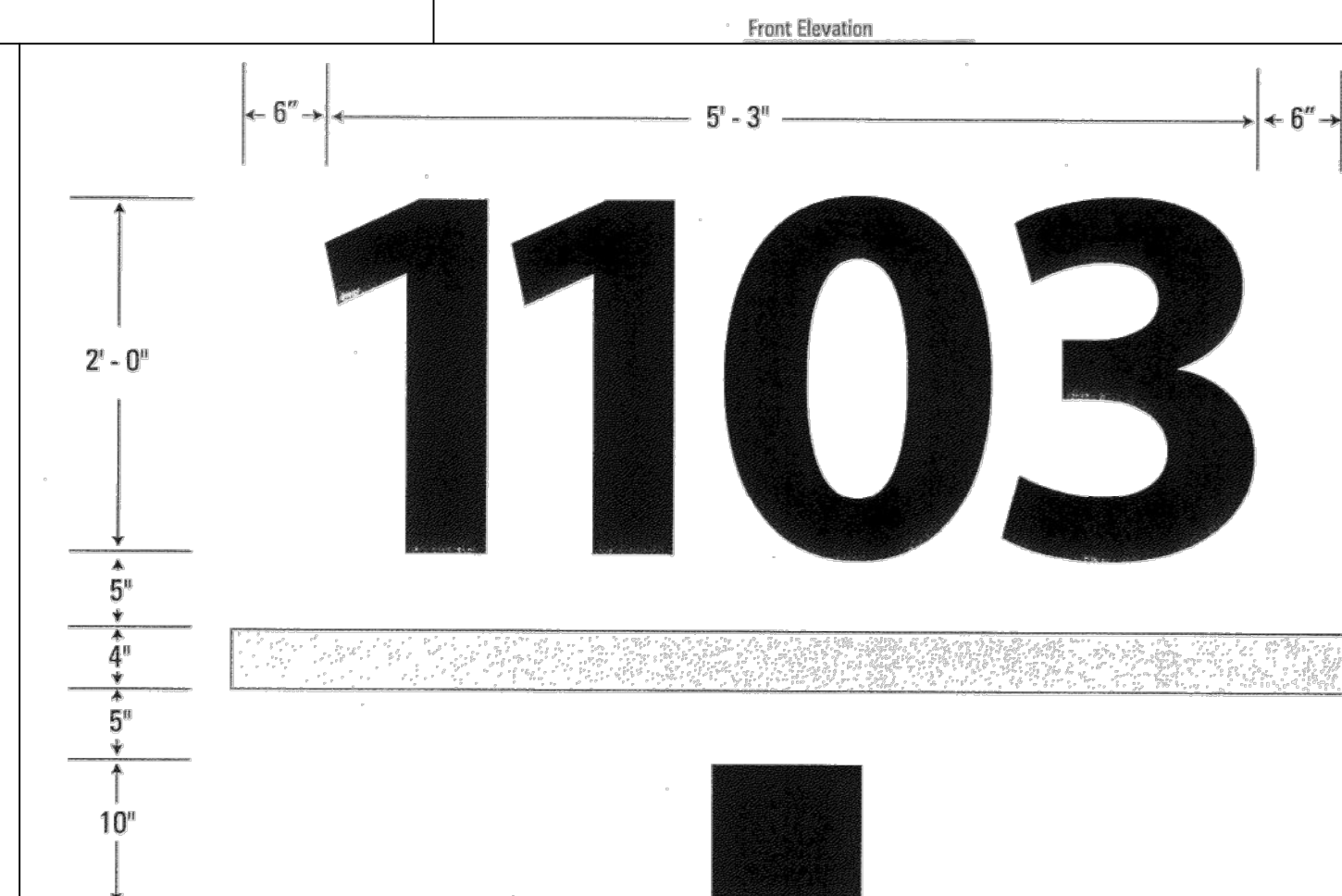
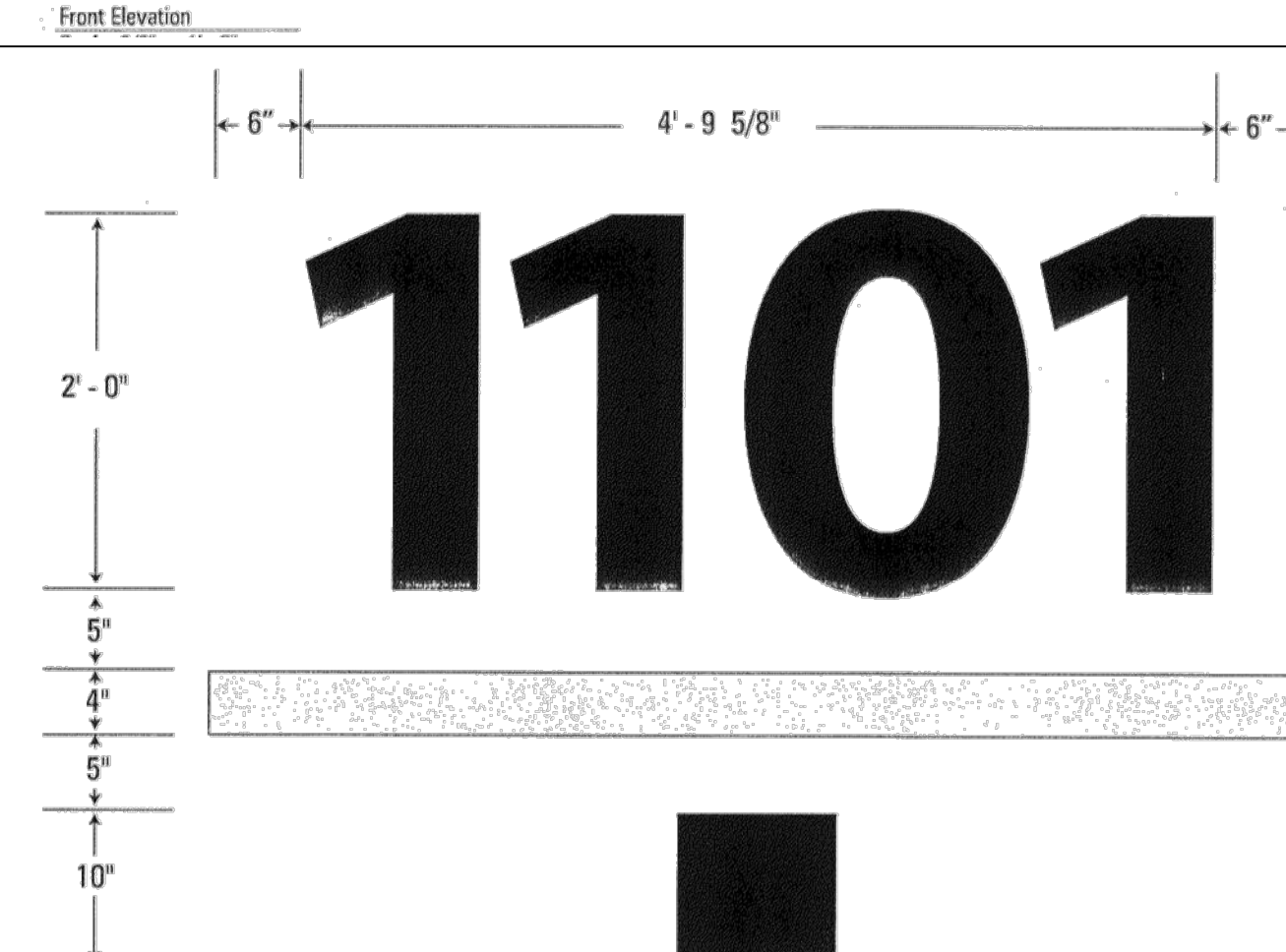
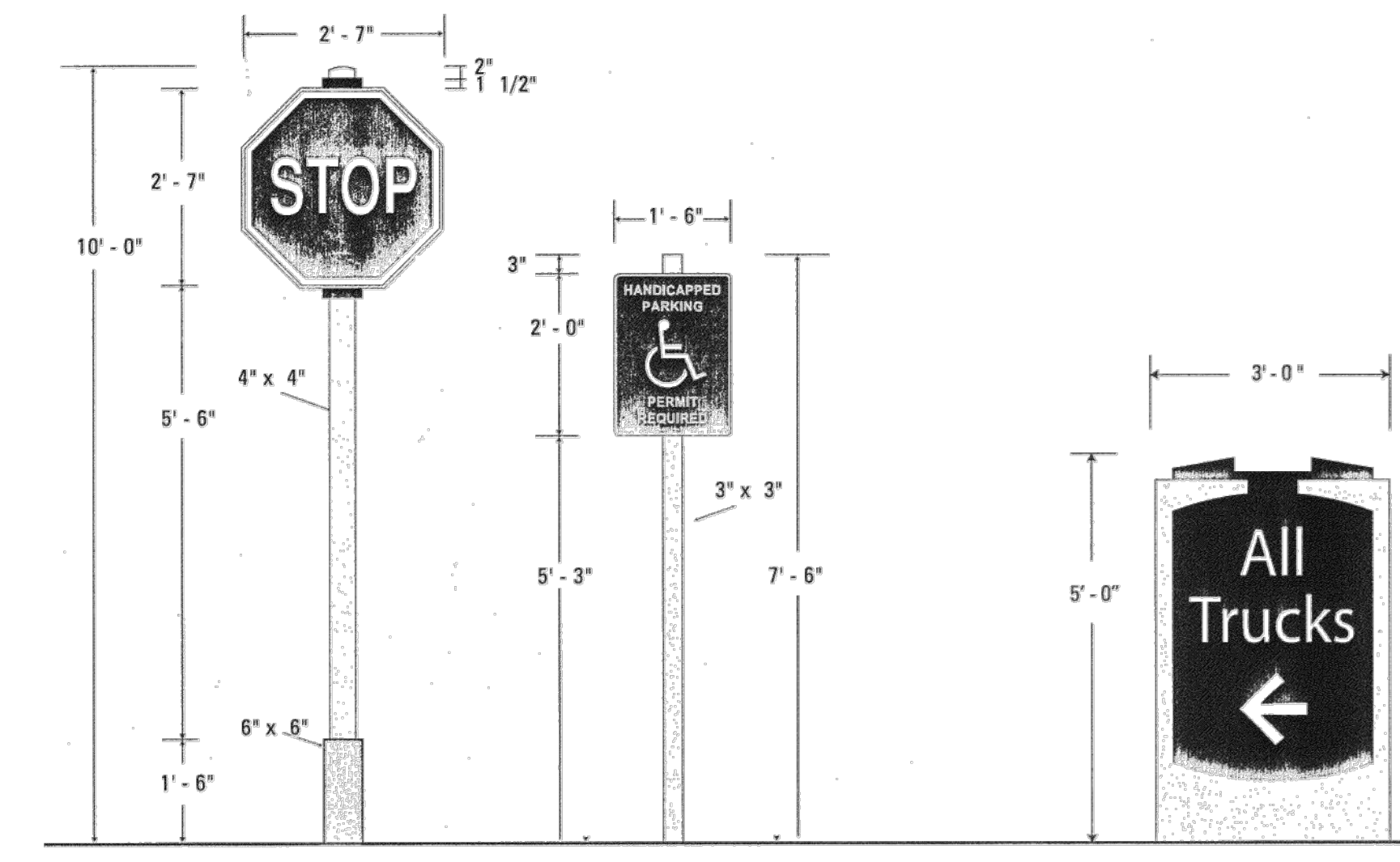
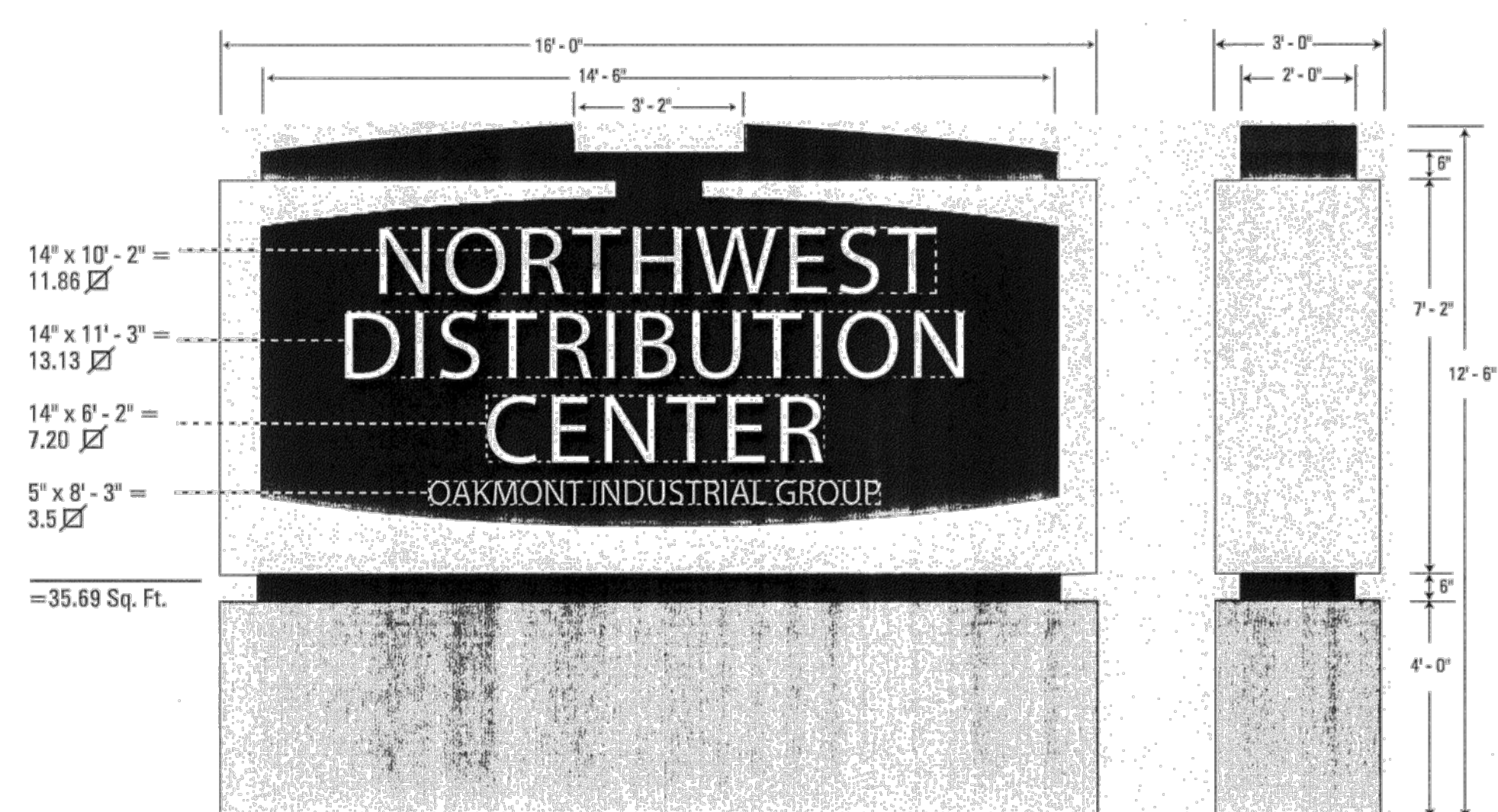
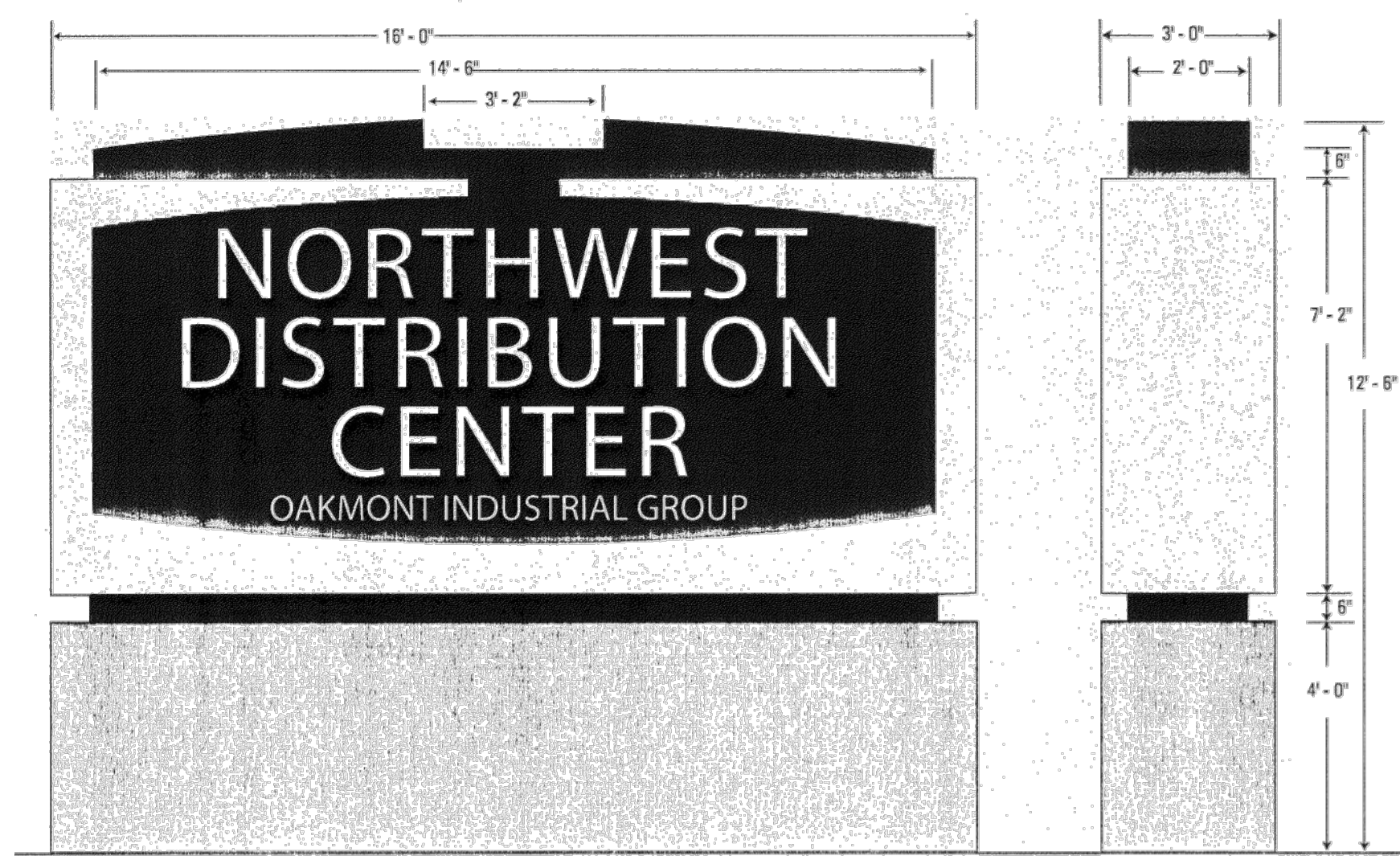
GENERAL DETAILS

JOB No.:	OIG-002.04
DESIGNED BY:	JB
DRAWN BY:	DB
APPROVED BY:	JB
DATE:	07-01-2016
SHEET:	C-301

NOT FOR CONSTRUCTION  
PRELIMINARY PLANS

JEFFERY W. BANKER, P.E.  
REGISTRATION No. 64122  
DATE:

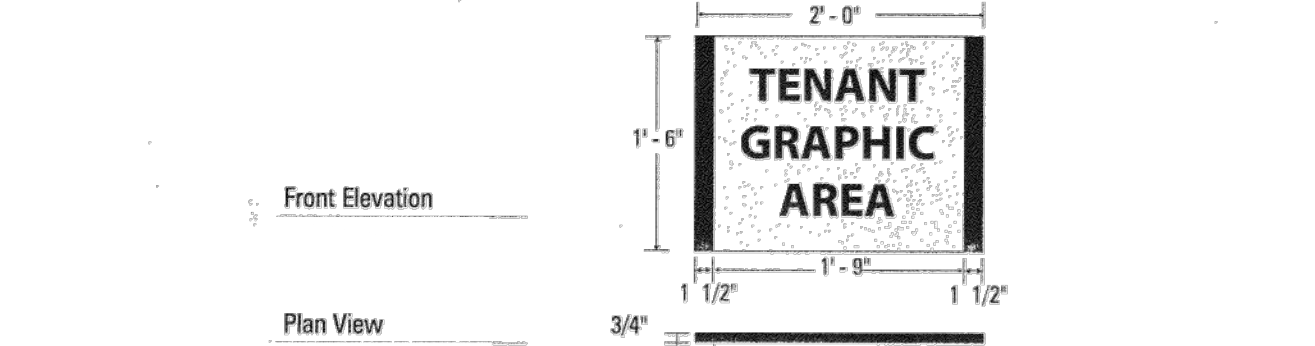




Front Elevation - Quantity: 2 sets  
24" high letters to be 1" thick flat cut out Sintra material, painted polyurethane colors as shown, stud mounted to building fascia with 1/2" standoff spacers.

Front Elevation - Quantity: 2 sets  
Scale: 1" = 1' - 0"  
24" high letters to be 1" thick flat cut out Sintra material, painted polyurethane colors as shown, stud mounted to building fascia with 1/2" standoff spacers.

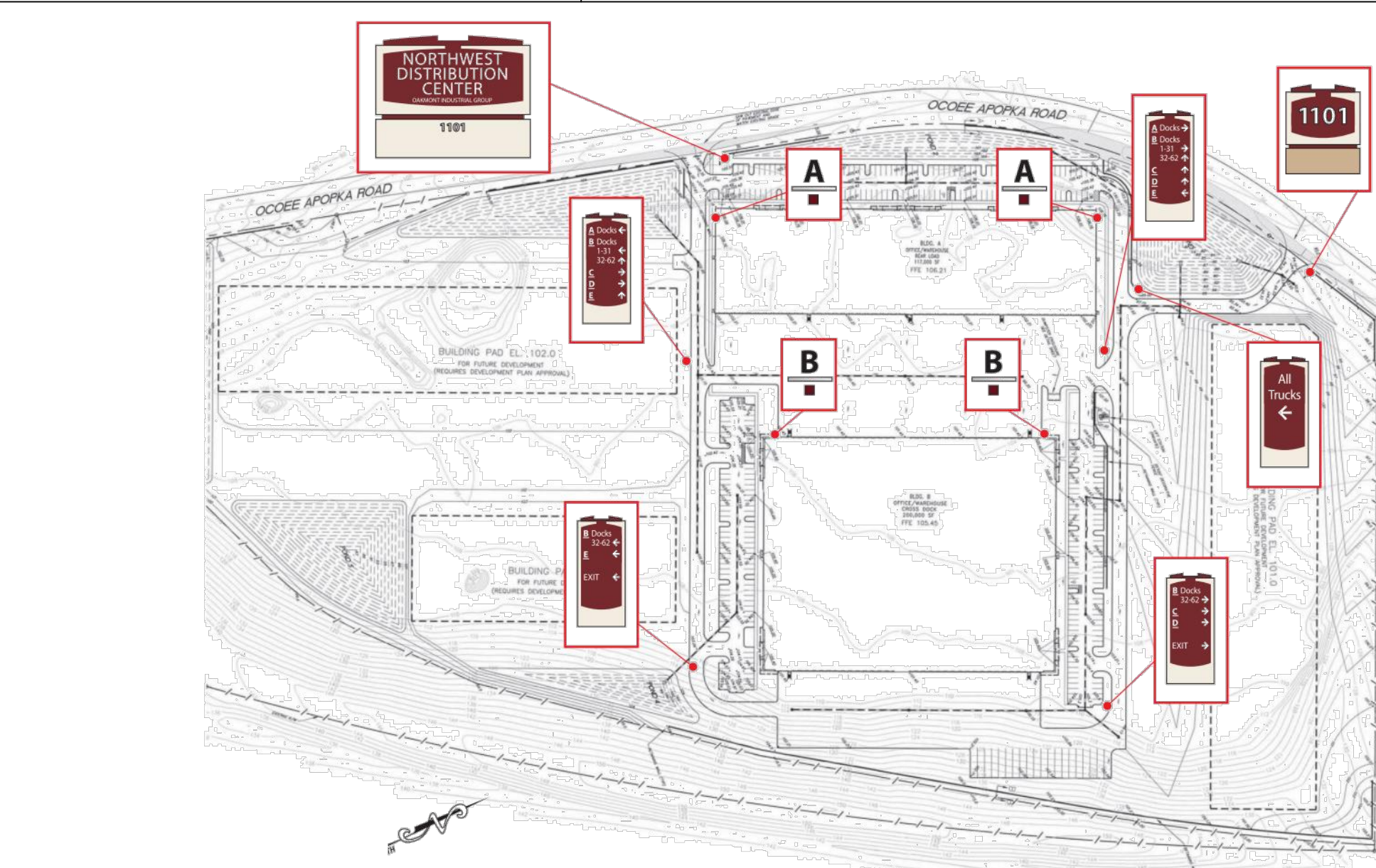
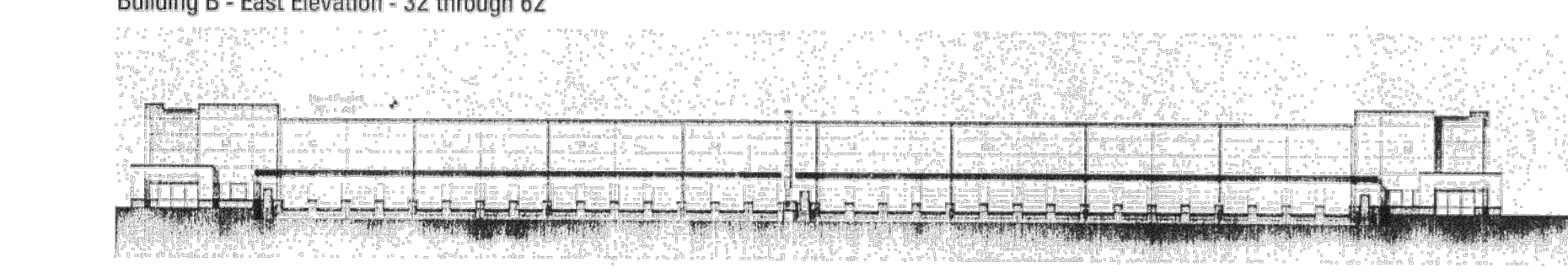
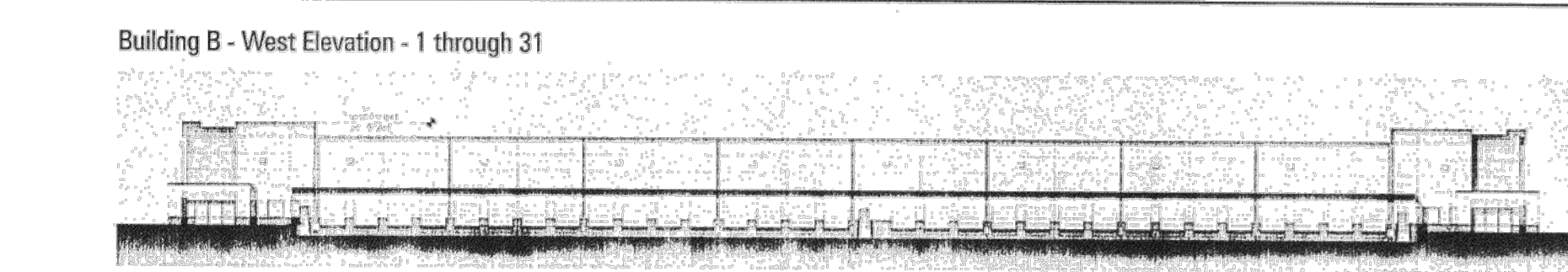
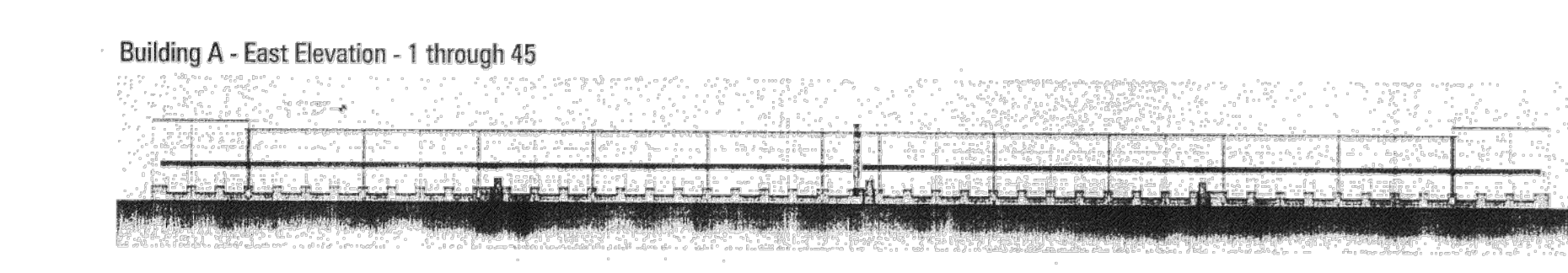
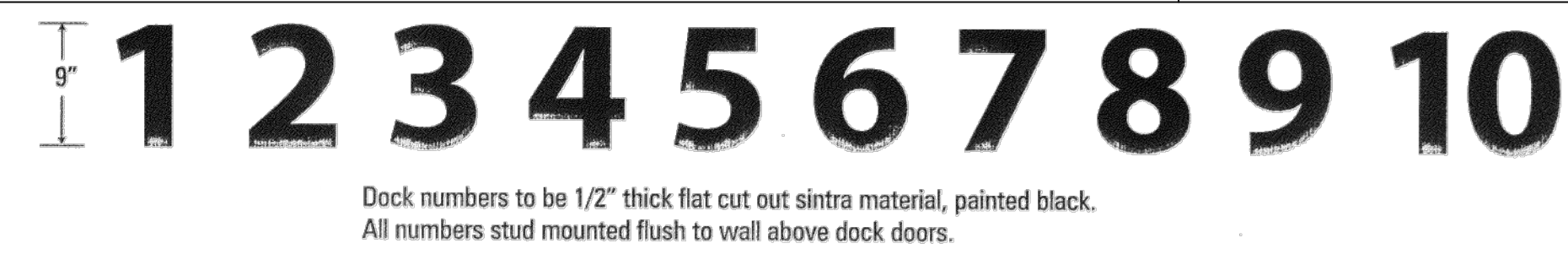
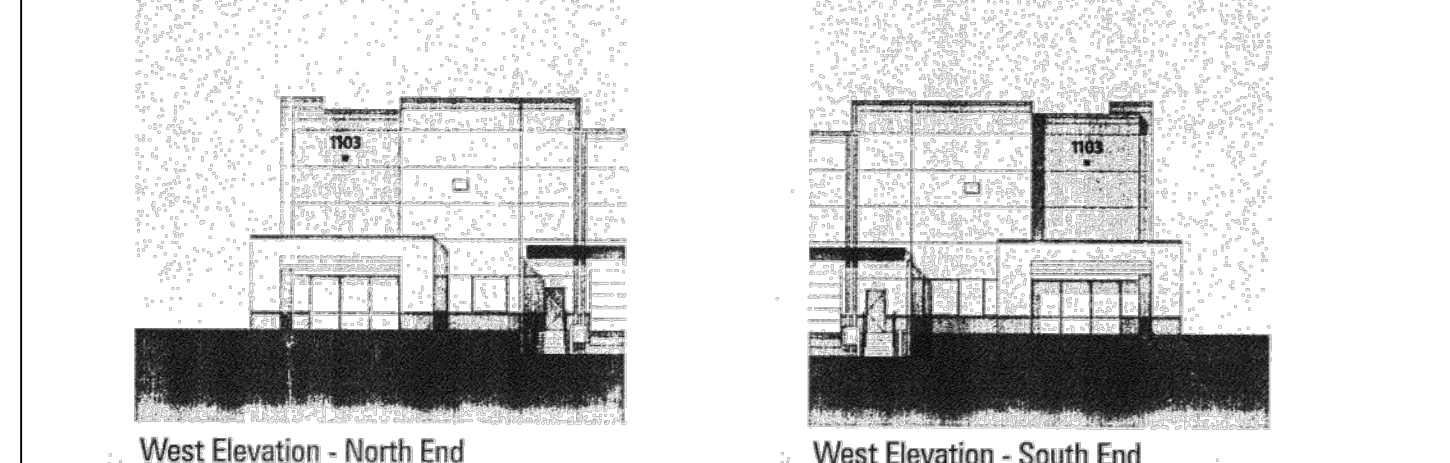
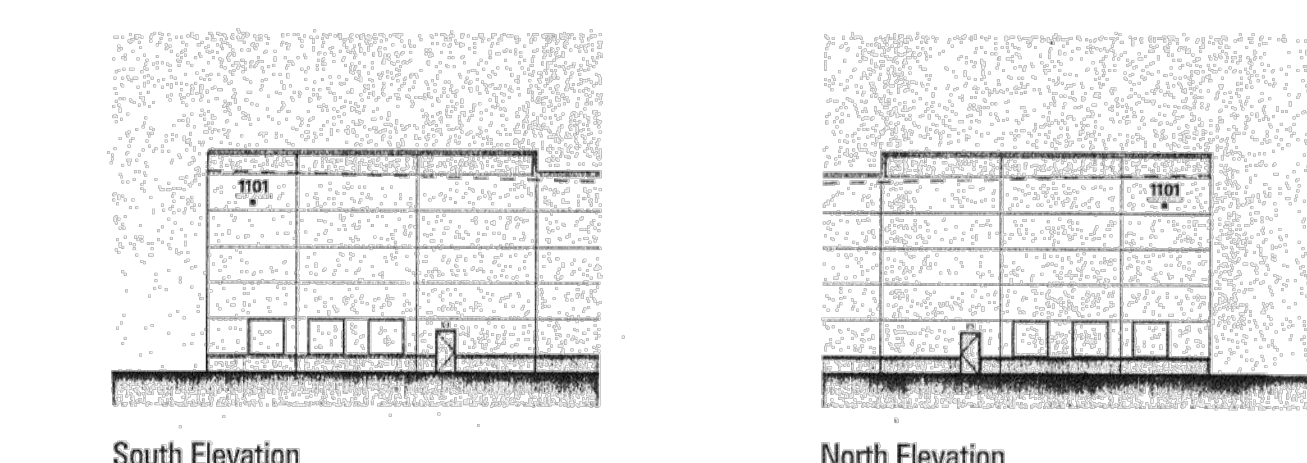
**Tenant Identification Wall Sign**  
Sign to be aluminum frame construction with .125 seamless aluminum face surface. No exposed fasteners on face surface. Colors must match Oakmont gray/beige and burgundy building colors using polyurethane satin finish coatings. All tenant graphics to be applied high performance vinyl. Logos allowed in tenant required colors with prior landlord review and approval. Signs attach flush to fascia using non-corrosive concealed hardware. Mounting and lifting clips must not be visible when installation is completed.



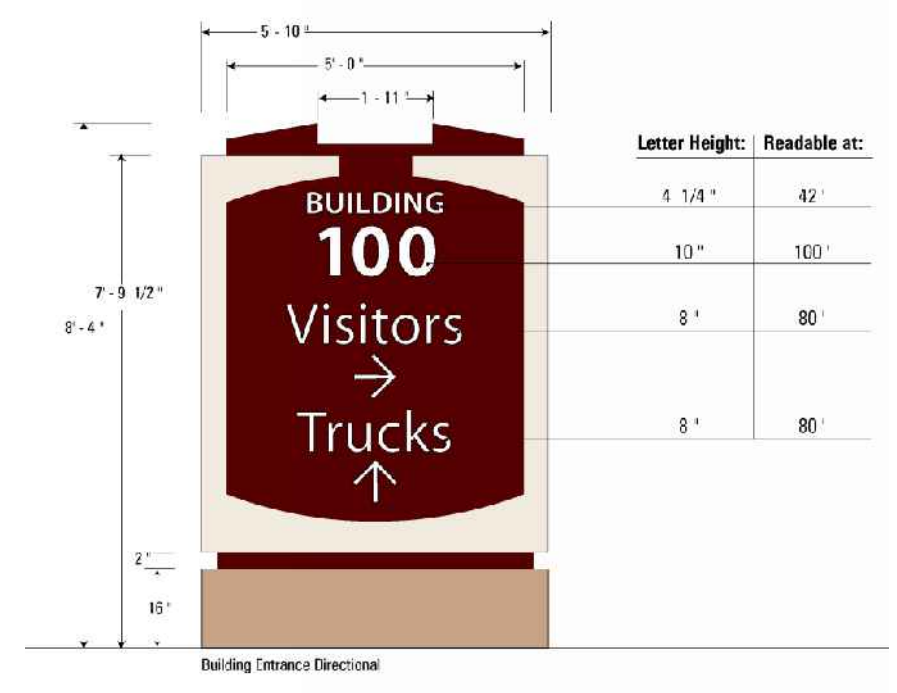
**Tenant Rear Suite Entrance Identification w/ LOGO or LOGOTYPE**  
Sign to be 3/4" thick PVC "sintra" backing panel with 1/2" thick PVC "sintra" face panel attached. Exposed edges to be filled smooth. Colors must match Oakmont gray/beige and burgundy building colors using polyurethane satin finish coatings. All tenant graphics to be applied high performance vinyl. Logos allowed in tenant required colors with prior landlord review and approval. Signs attach flush to fascia with concealed studs and adhesive. No exposed fasteners.

For pricing and information, contact:  
**ATLANTA SIGN SERVICES, INC.**  
4705-C Bakers Ferry Road Atlanta, GA 30336  
Phone 404-691-7811 Fax 404-691-7849

For pricing and information, contact:  
**ATLANTA SIGN SERVICES, INC.**  
4705-C Bakers Ferry Road Atlanta, GA 30336  
Phone 404-691-7811 Fax 404-691-7849



NOTE: SEE SITE PLAN FOR BUILDING D DIRECTIONAL SIGNS AND ARCHITECTURAL ELEVATION PLANS FOR BUILDING SIGNAGE



REV.	DATE	DESCRIPTION

NORTHWEST DISTRIBUTION CENTER - BUILDING D  
 BUILDING & SIGNAGE DETAILS

**HEI**  
**HIGHLAND ENGINEERING, INC.**  
 79 WEST ULIANA ST.  
 Orla, Florida 32906  
 Office: (407) 275-7877  
 Fax: (407) 275-7901  
 CA No. 27612

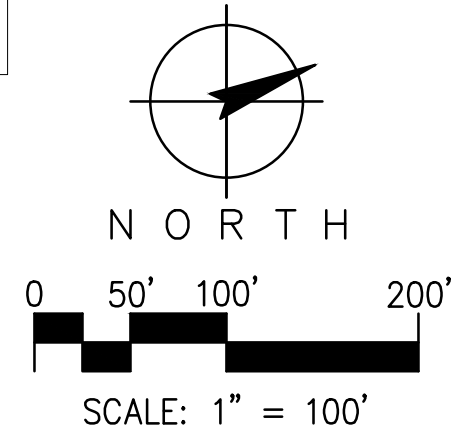
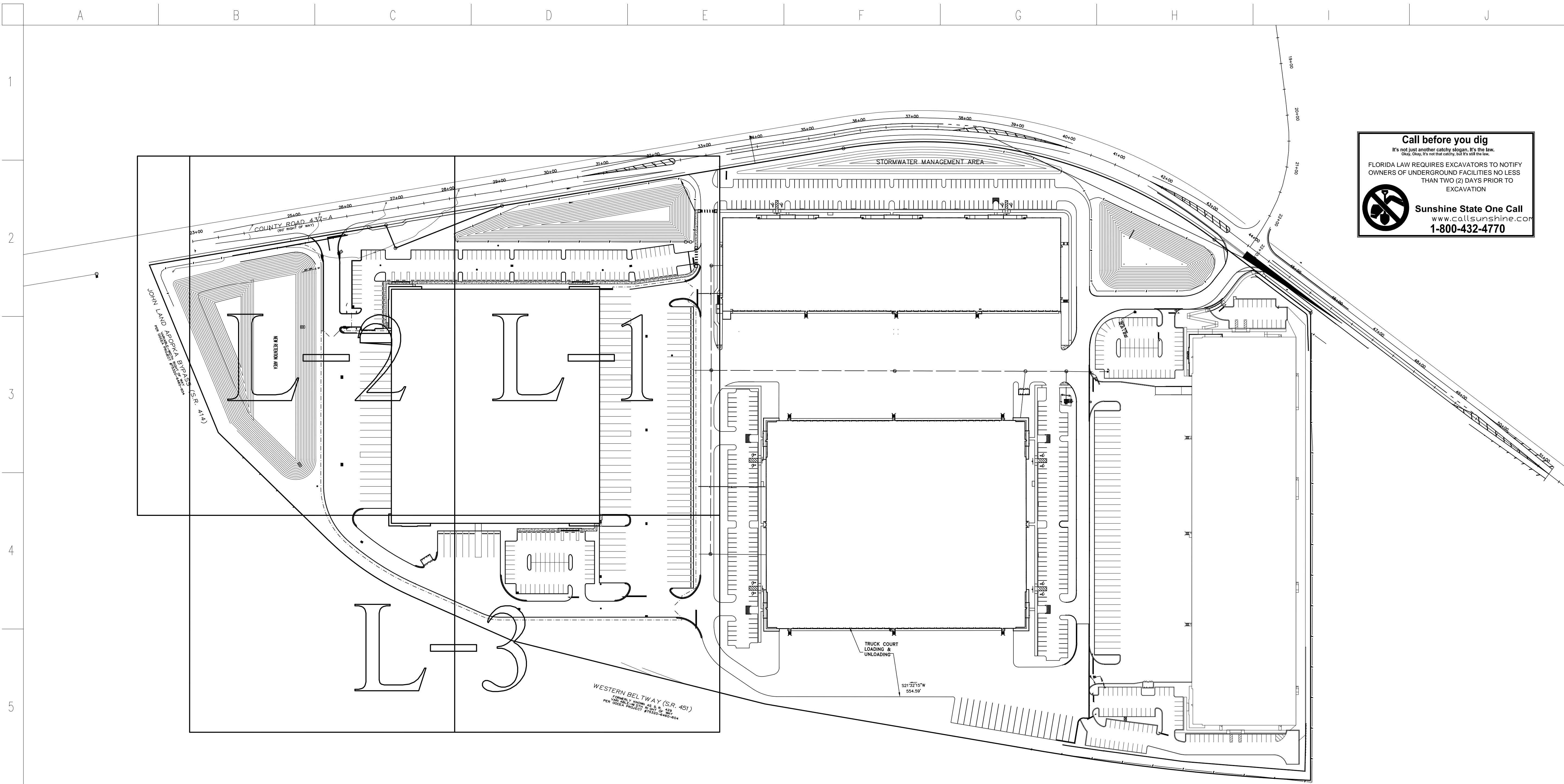
JOB No.: OIG-002.04  
 DESIGNED BY: JB  
 DRAWN BY: DB  
 APPROVED BY: JB  
 DATE: 07-01-2016  
 SHEET: C-302

NOT FOR CONSTRUCTION  
 PRELIMINARY PLANS

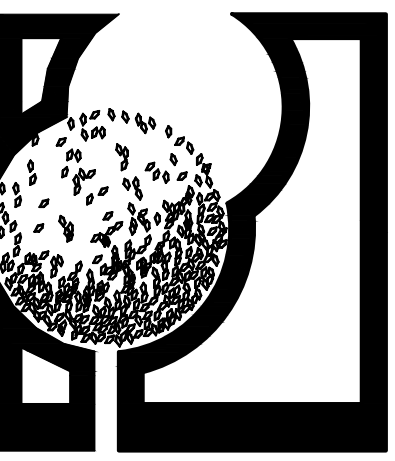
JEFFERY W. BANKER, P.E.  
 REGISTRATION No. 64122  
 DATE:

PREVIOUSLY APPROVED SIGNAGE DETAILS





**Call before you dig**  
 It's not just another catchy slogan. It's the law.  
 Okay, okay, it's not that catchy, but it's still the law.  
 FLORIDA LAW REQUIRES EXCAVATORS TO NOTIFY OWNERS OF UNDERGROUND FACILITIES NO LESS THAN TWO (2) DAYS PRIOR TO EXCAVATION  
 **Sunshine State One Call**  
 www.callsunshine.com  
 1-800-432-4770



**DALE & COMPANY**  
 651 North Mills Avenue Orlando, Florida 32803 telephone (407) 894-1317  
 Landscape Architecture Analysis Planning

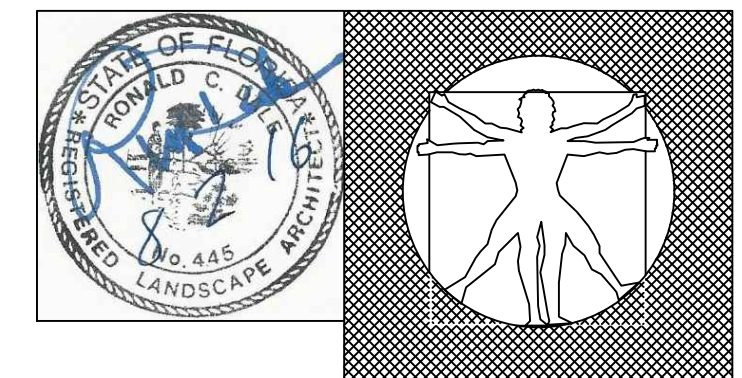
COVER SHEET FOR  
**NW DISTRIBUTION CENTER - BLD. D** FLORIDA  
 CITY OF APOPKA

DESIGNED BY: RCD  
 DRAWN BY: RSH  
 CHECKED BY: RCD  
 DATE: 06-14-16

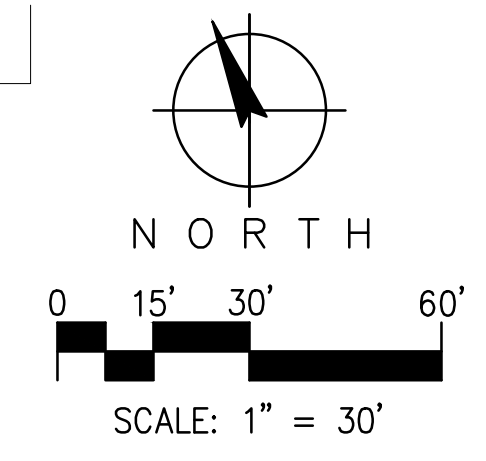
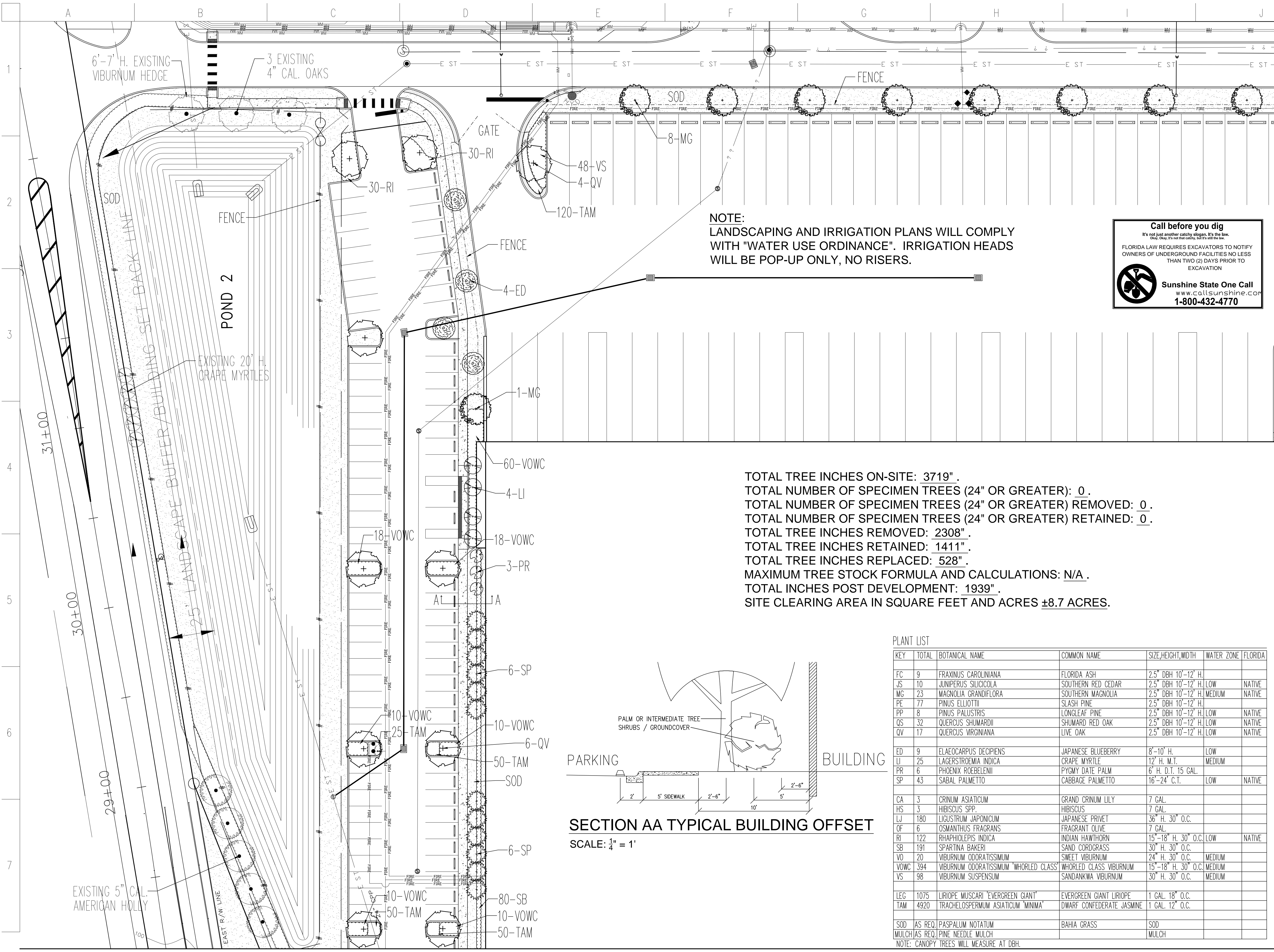
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**PRELIMINARY LANDSCAPE PLAN**  
**FOR**  
**NORTHWEST DISTRIBUTION**  
**CENTER - BLD. D**

L-1 OF 5



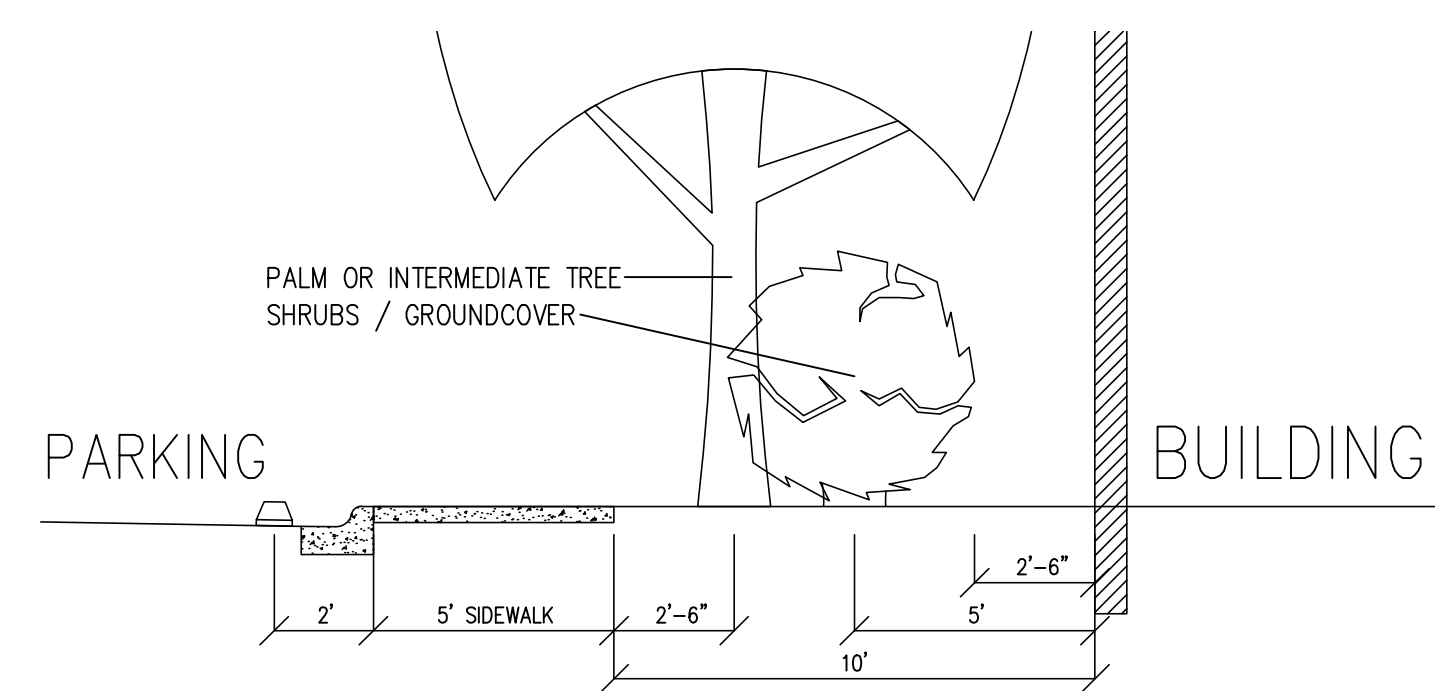




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 **Sunshine State One Call**  
 www.callsunshine.com  
 1-800-432-4770

**NOTE:**  
 LANDSCAPING AND IRRIGATION PLANS WILL COMPLY WITH "WATER USE ORDINANCE". IRRIGATION HEADS WILL BE POP-UP ONLY, NO RISERS.

TOTAL TREE INCHES ON-SITE: 3719".  
 TOTAL NUMBER OF SPECIMEN TREES (24" OR GREATER): 0.  
 TOTAL NUMBER OF SPECIMEN TREES (24" OR GREATER) REMOVED: 0.  
 TOTAL NUMBER OF SPECIMEN TREES (24" OR GREATER) RETAINED: 0.  
 TOTAL TREE INCHES REMOVED: 2308".  
 TOTAL TREE INCHES RETAINED: 1411".  
 TOTAL TREE INCHES REPLACED: 528".  
 MAXIMUM TREE STOCK FORMULA AND CALCULATIONS: N/A.  
 TOTAL INCHES POST DEVELOPMENT: 1939".  
 SITE CLEARING AREA IN SQUARE FEET AND ACRES ±8.7 ACRES.



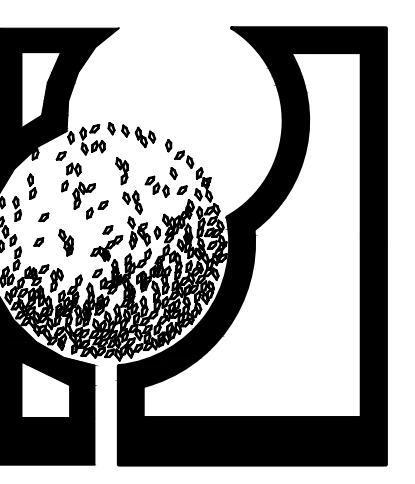
PLANT LIST

KEY	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE, HEIGHT, WIDTH	WATER ZONE	FLORIDA
FC	9	FRAXINUS CAROLINIANA	FLORIDA ASH	2.5" DBH 10'-12' H.		
JS	10	JUNIPERUS SILICICOLA	SOUTHERN RED CEDAR	2.5" DBH 10'-12' H.	LOW	NATIVE
MG	23	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	2.5" DBH 10'-12' H.	MEDIUM	NATIVE
PE	77	PINUS ELLIOTII	SLASH PINE	2.5" DBH 10'-12' H.		
PP	8	PINUS PALUSTRIS	LONGLEAF PINE	2.5" DBH 10'-12' H.	LOW	NATIVE
QS	32	QUERCUS SHUMARDII	SHUMARD RED OAK	2.5" DBH 10'-12' H.	LOW	NATIVE
QV	17	QUERCUS VIRGINIANA	LIVE OAK	2.5" DBH 10'-12' H.	LOW	NATIVE
ED	9	ELAEOCARPUS DECIPIENS	JAPANESE BLUEBERRY	8'-10' H.	LOW	
LI	25	LAGERSTROEMIA INDICA	CRAPE MYRTLE	12" H. M.T.	MEDIUM	
PR	6	PHOENIX ROEBELII	PYGMY DATE PALM	6" H. D.T. 15 GAL.		
SP	43	SABAL PALMETTO	CABBAGE PALMETTO	16"-24" C.T.	LOW	NATIVE
CA	3	CRINUM ASIATICUM	GRAND CRINUM LILY	7 GAL.		
HS	3	HIBISCUS SPP.	HIBISCUS	7 GAL.		
LJ	180	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	36" H. 30" O.C.		
OF	6	OSMANTHUS FRAGRANS	FRAGRANT OLIVE	7 GAL.		
RI	122	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN	15"-18" H. 30" O.C.	LOW	NATIVE
SB	191	SPARTINA BAKERI	SAND CORDGRASS	30" H. 30" O.C.		
VO	20	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	24" H. 30" O.C.	MEDIUM	
VOWC	394	VIBURNUM ODORATISSIMUM 'WHORLED CLASS'	WHORLED CLASS VIBURNUM	15"-18" H. 30" O.C.	MEDIUM	
VS	98	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	30" H. 30" O.C.	MEDIUM	
LEG	1075	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LIRIOPE	1 GAL. 18" O.C.		
TAM	4920	TRACHELOSPERMUM ASIATICUM 'MINIMA'	DWARF CONFEDERATE JASMINE	1 GAL. 12" O.C.		
SOD	AS REQ.	PASPALUM NOTATUM	BAHIA GRASS	SOD		
MULCH	AS REQ.	PINE NEEDLE MULCH	MULCH			

NOTE: CANOPY TREES WILL MEASURE AT DBH.

MATCH TO L-4

MATCH TO L-4



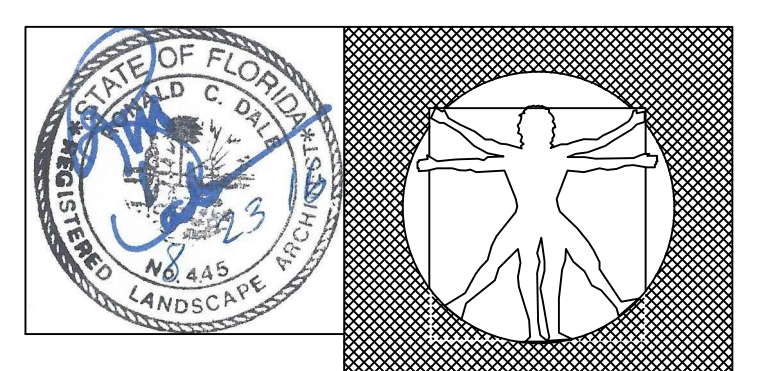
**DALE & COMPANY**  
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 Landscape Architecture Analysis Planning

PRELIMINARY LANDSCAPE PLAN FOR  
**NW DISTRIBUTION CENTER - BLD. D** FLORIDA  
 CITY OF APOPKA

DESIGNED BY: RCD  
 DRAWN BY: RSH  
 CHECKED BY: RCD  
 DATE: 06-14-16

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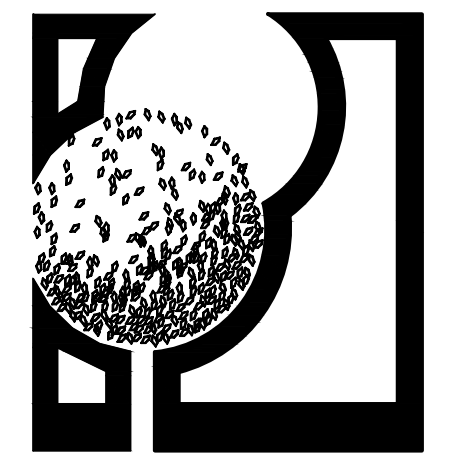
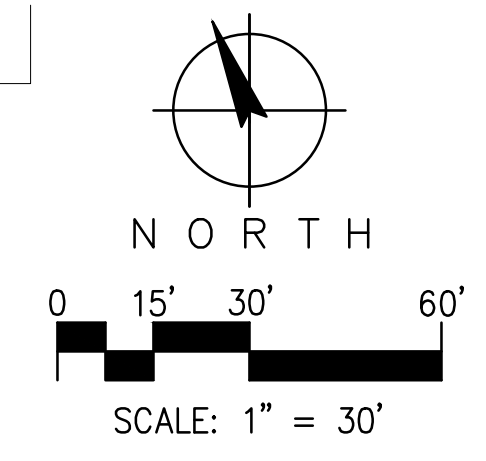
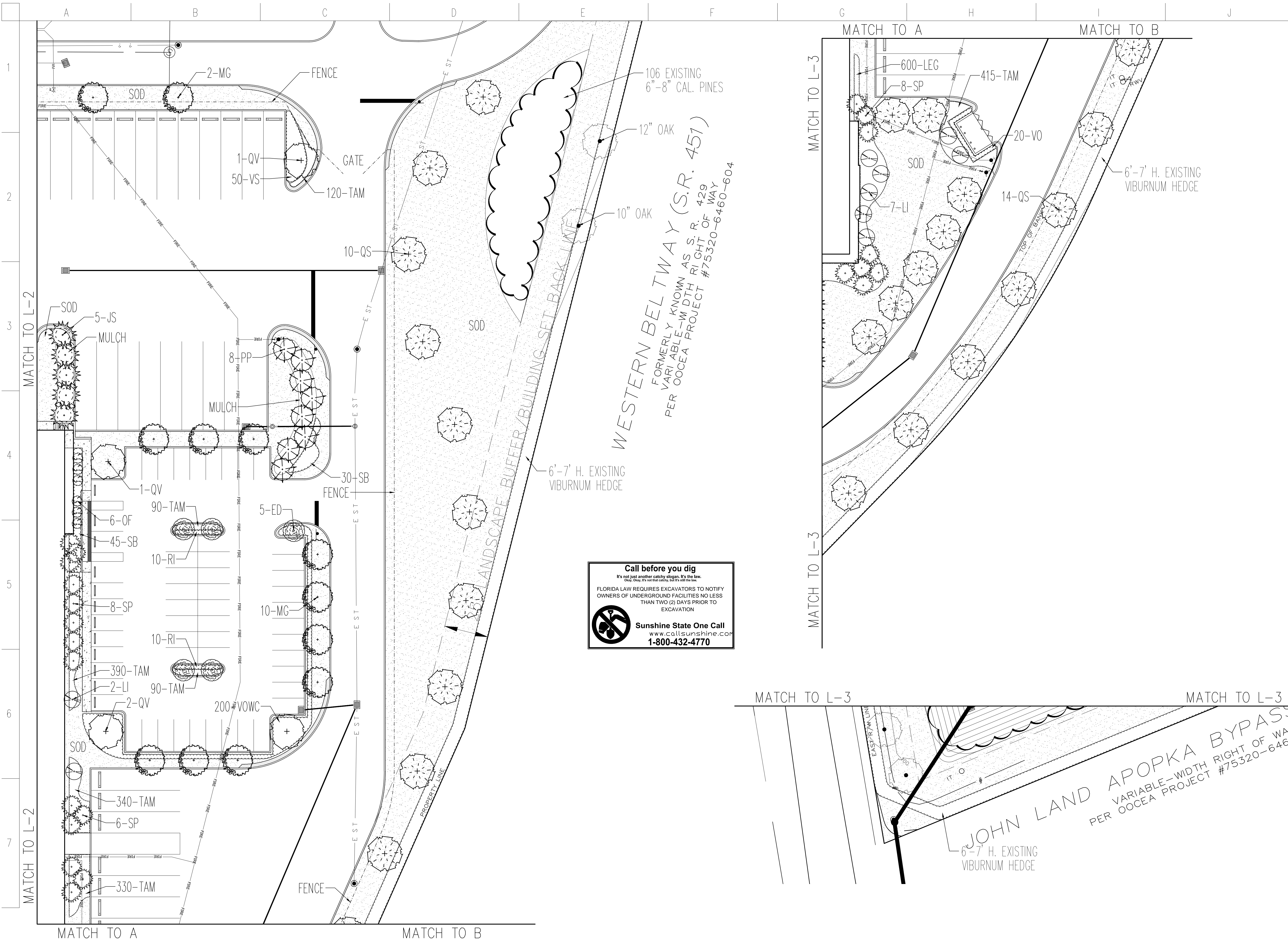
L-2 OF 5











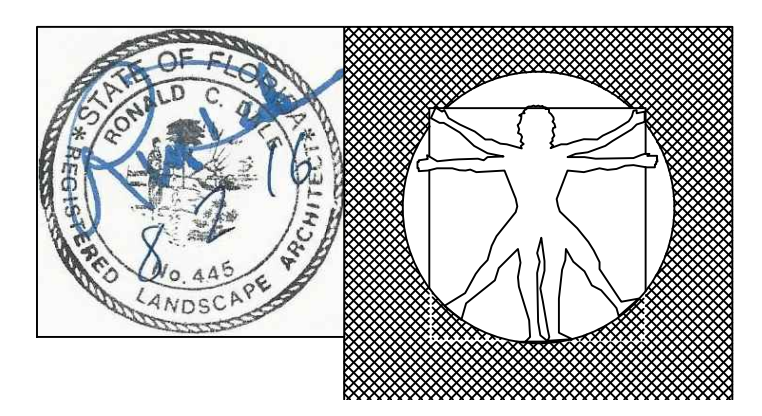
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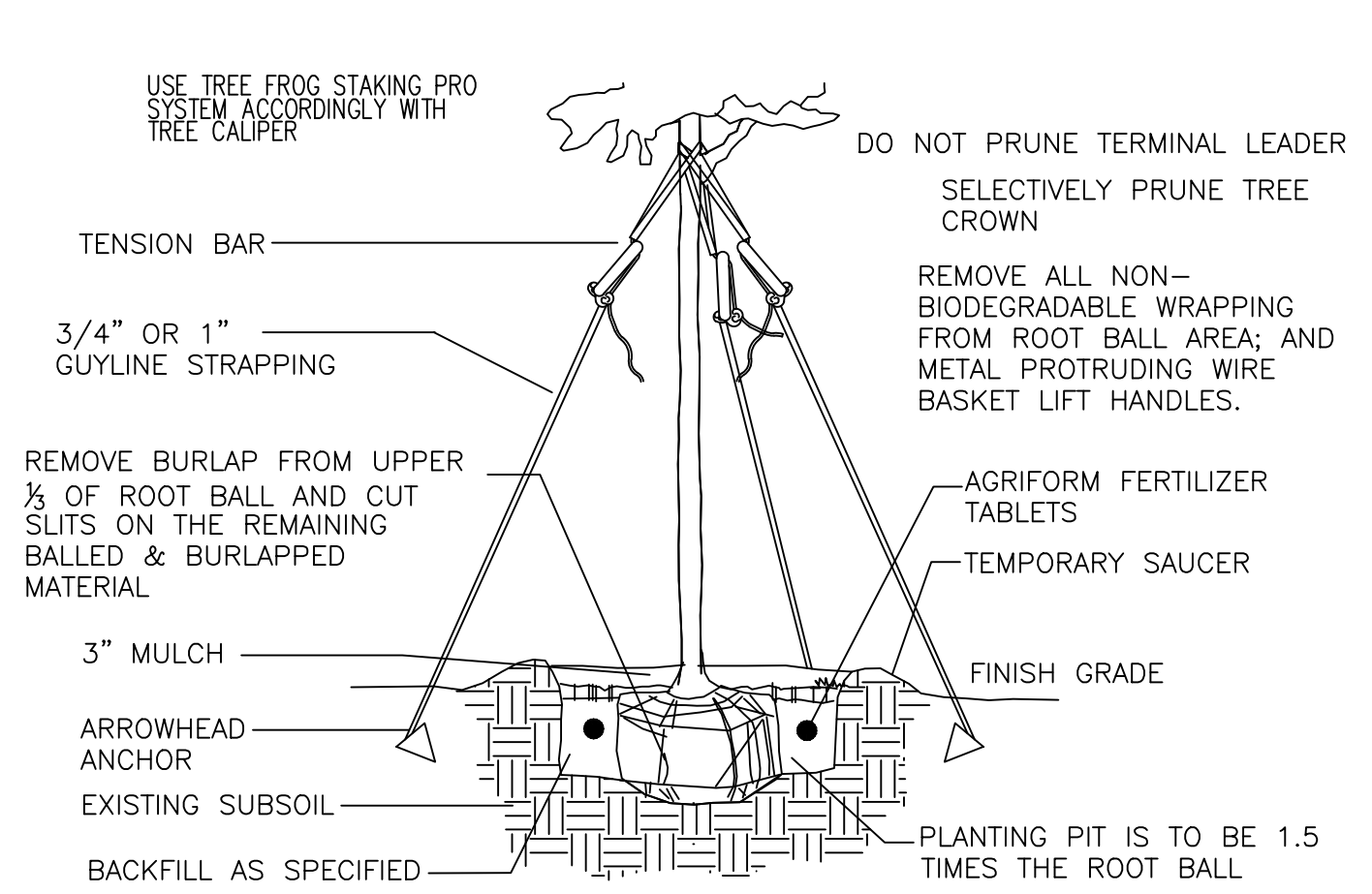


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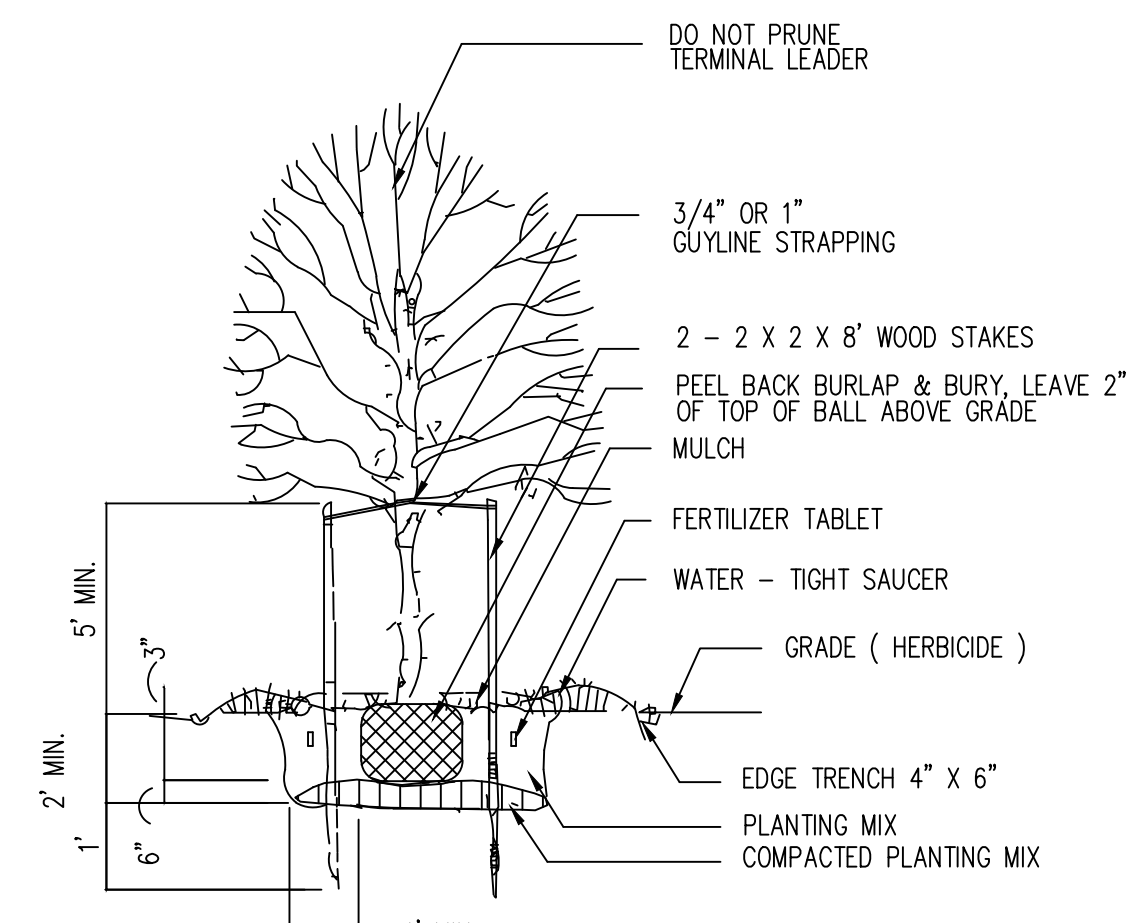
**WESTERN BELTWAY (S.R. 451)**  
 FORMERLY KNOWN AS S. R. 429  
 VARIABLE-WIDTH RIGHT OF WAY  
 PER OOCEA PROJECT #75320-6460-604

**JOHN LAND APOPKA BYPASS**  
 VARIABLE-WIDTH RIGHT OF WAY  
 PER OOCEA PROJECT #75320-6460-604

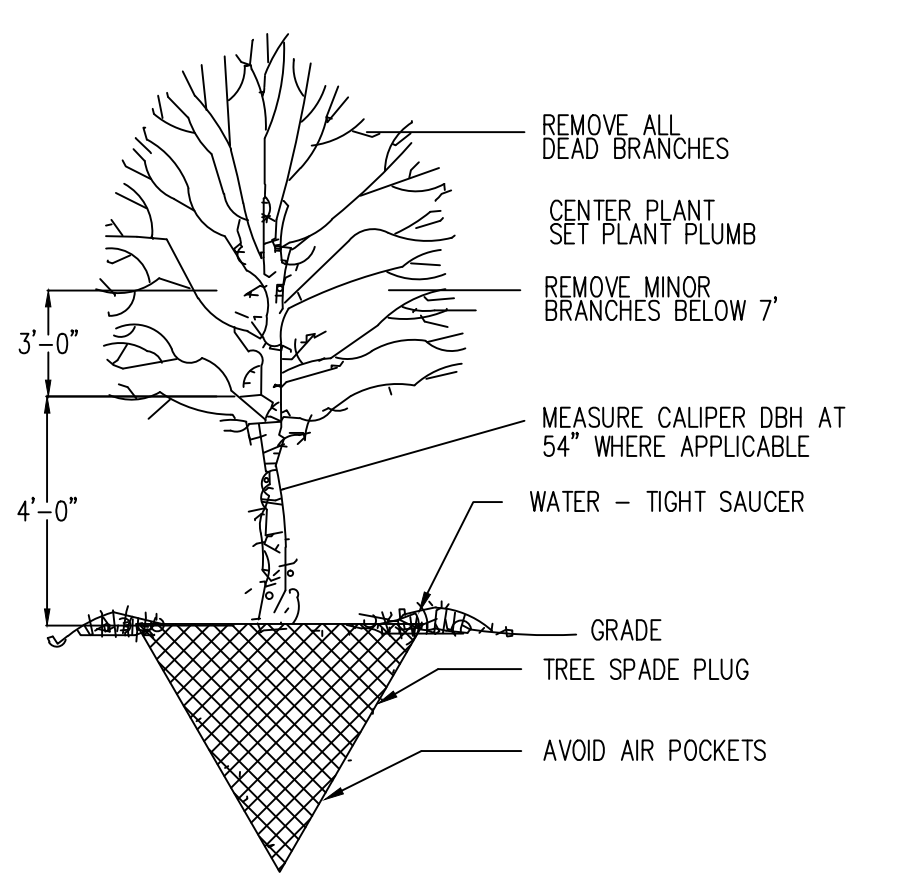




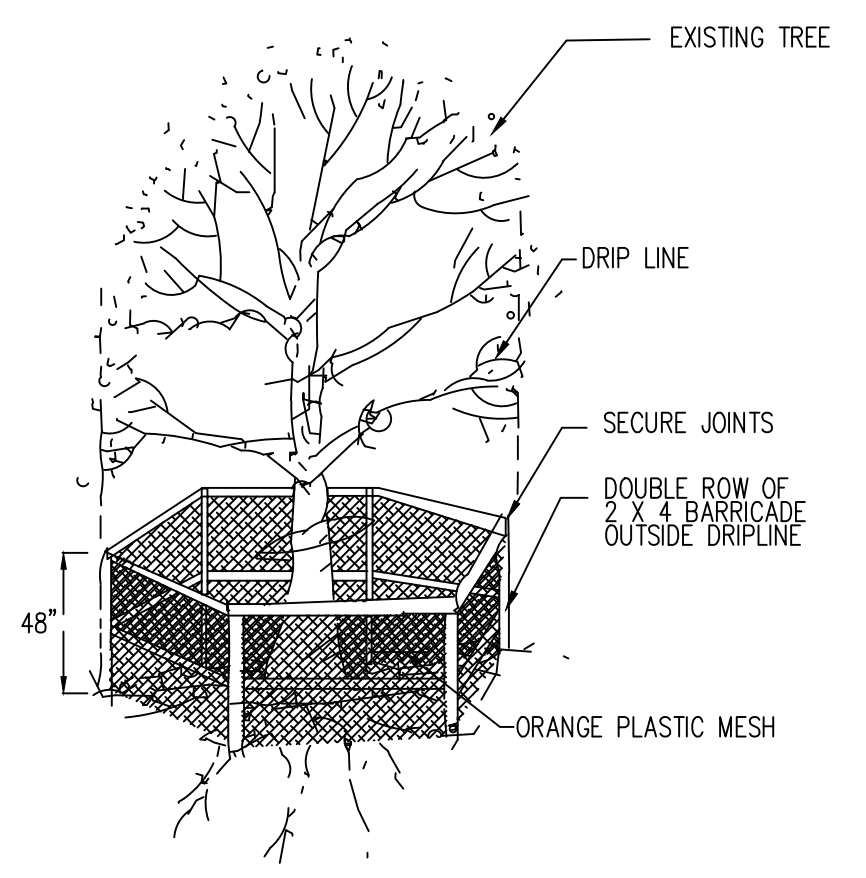
**TREE STAKING DETAIL**  
CONTAINER OR BALL & BURLAP : 3 1/2\"/>



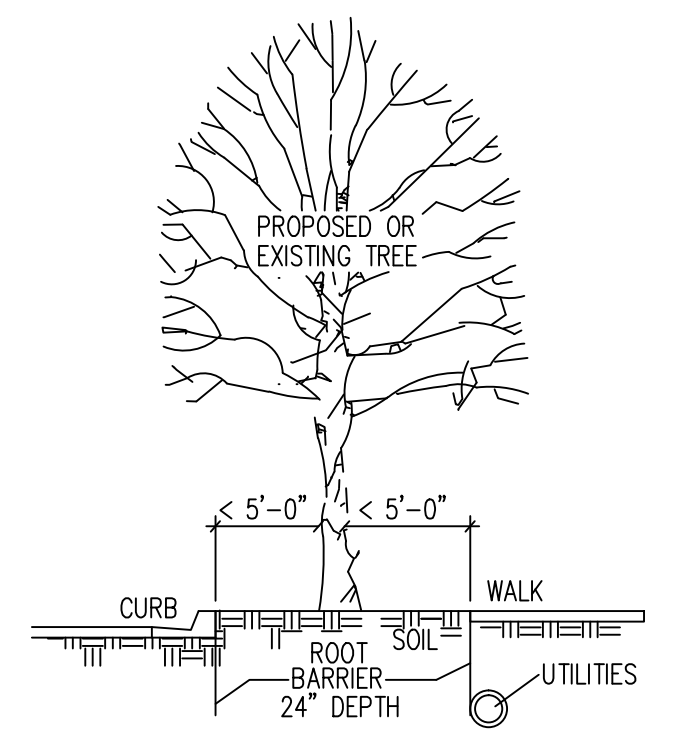
**TREE DETAIL**  
NO SCALE



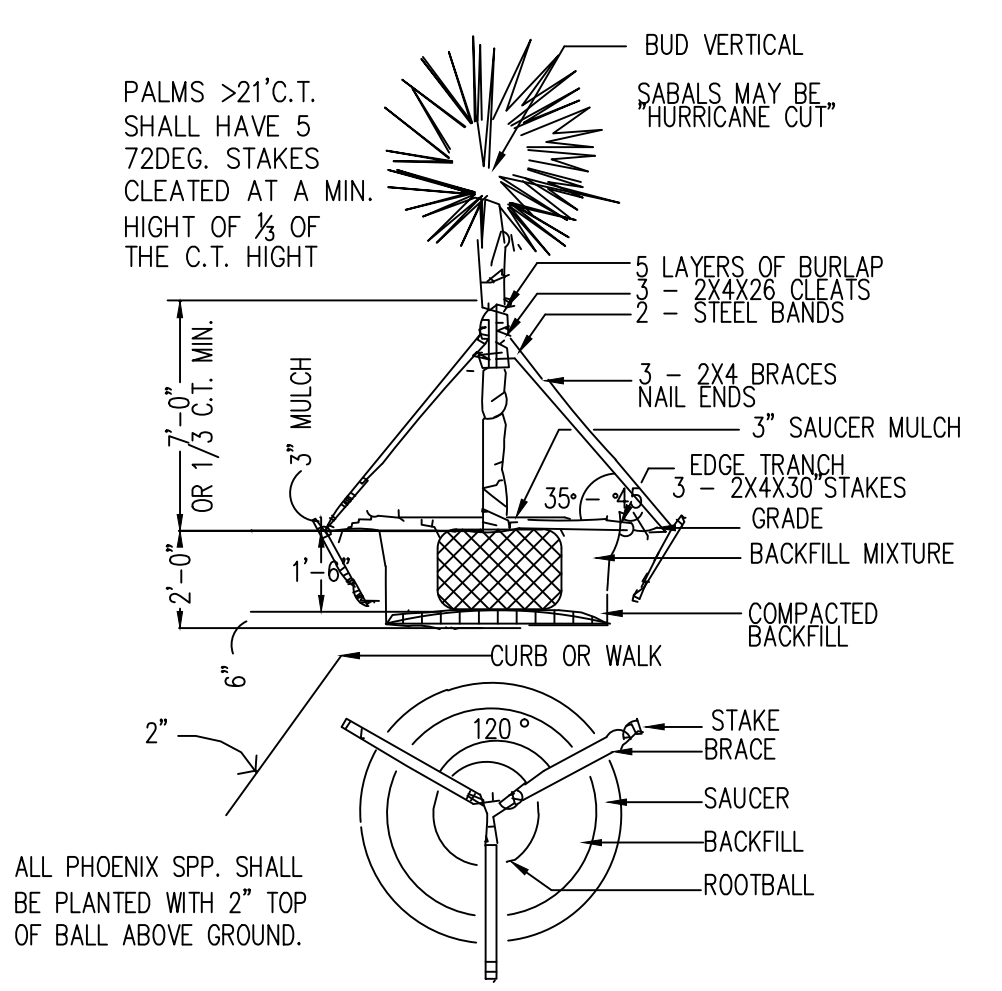
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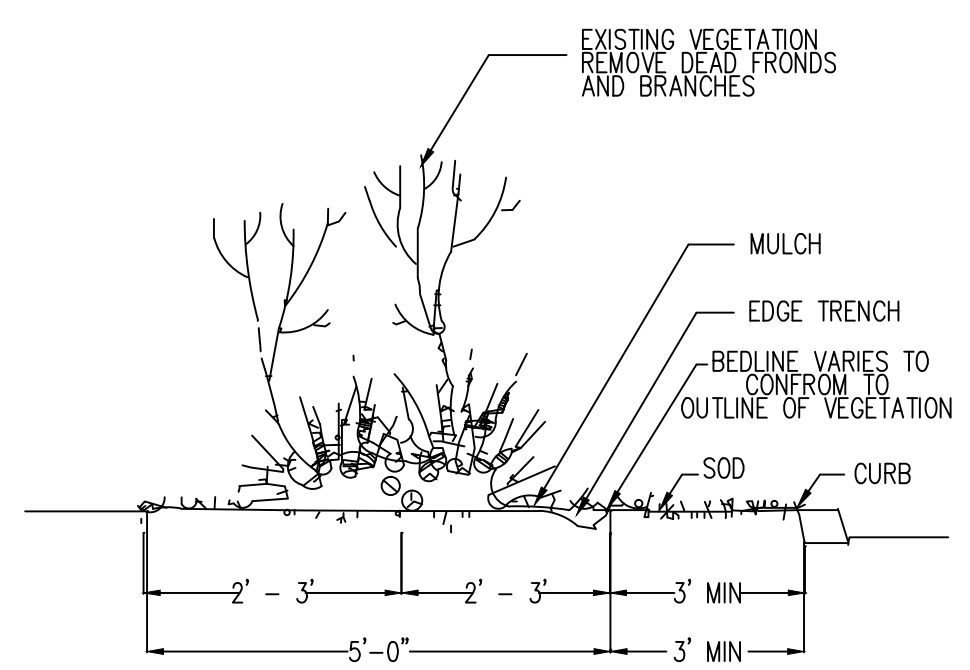
**TREE PROTECTION**  
NO SCALE



**ROOT BARRIER DETAIL**  
NO SCALE



**PALM BRACING DETAIL**  
NO SCALE



**SOD DETAIL**  
NO SCALE

**SECTION 02900 LANDSCAPE**  
**PART ONE - GENERAL**

- 1.0 SUMMARY**
- A. All portions of Division I - General Requirements are included with this section.
  - B. Furnish all transportation, materials, labor, equipment, taxes, and service to complete all work as shown on the drawings and as specified herein.
  - C. Avoid conditions which will create hazards. Post signs or barriers as required.
  - D. Provide adequate means for protection from damage through excessive erosion, flooding, heavy rains or winds, etc. Repair or replace such damage.
  - E. Plant totals are for the convenience of the Contractor and are not guaranteed. Verify drawings. Planting is required as indicated on drawings.
  - F. Comply with all federal, state and local regulations.
  - G. Contractor shall notify L.A. of any adverse soil conditions encountered i.e. clay, loose fill, high water table or poor drainage and any condition adverse to planting.
  - H. Quantity deviations, questions on plans; please notify. Plant list is an estimate.

- 1.1 RELATED SECTIONS:** SECTION 02810 IRRIGATION
- 1.2 REFERENCES**
- A. Standard Plant Names, 1942 edition prepared by the American Joint Committee on Horticultural Nomenclature.
  - B. Grades and Standards for Nursery Plants, Florida Department of Agriculture; Part II 1998
  - C. American Standard for Nursery Stock, prepared by the American Association of Nurserymen, Inc. (ANSI Z60.1-1986)
  - D. Hortus Third, Liberty Hyde Bailey Hortorium 1976.
  - E. Florida Irrigation Society Standards and Specifications for turf and Landscape Systems (Revision 61098).

- 1.3 SUBMITTALS**  
Provide to Owner's representative during:
- A. Preconstruction
    - 1. Unit Prices for all materials, including estimate (or quotation) or area to be sodded or seeded.
    - 2. Proposed substitutions of materials or sizes. Obtain approval by both landscape architect and Owner's representative.
  - B. Construction
    - 1. Plant inspection certificates and shipping invoices as requested.
    - 2. All fertilizer labels and notarized letter of conformance with these specifications.
  - C. Contract Close-out
    - 1. Two sets as-built record documents (red-line prints).
- 1.4 QUALITY ASSURANCE**
- A. All work shall be performed under the constant supervision of a foreman, having at least one year experience or education in the nursery trades.
  - B. Contractor is expected to participate in a pre-construction conference with Owner and landscape architect to coordinate schedule, clarify questions, and discuss acceptable performance for payment.
  - C. Contractor is expected to participate in a contract close-out conference with Owner and landscape architect to verify completion of the work, and to establish a "Date of Substantial Completion".

- 1.5 MAINTENANCE**
- A. Contractor shall be fully responsible for all maintenance, damages, and replacements until Date of Substantial Completion of that specific phase of work. Document damage to the work caused by other trades. Immediately bring to Owner's attention, and quickly repair (at Owner's expense) as directed.
  - B. Maintenance consists of pruning, cultivation, edginbeds and walks, weeding, mulching, adjusting guys, resetting plants to proper grade or upright position, hand watering as required, restoration of planting saucer, and furnishing and applying such sprays as necessary to keep the planting free from insects or disease.
  - C. The Contractor shall keep the premises free from accumulations of waste materials or rubbish caused by his employees or work, at all times.
- 1.6 REPLACEMENTS**
- A. During the guarantee period any plant required under this contract that is dead or not in satisfactory growth condition (as determined by the landscape architect) shall be promptly replaced by the Contractor. Replacement shall be as specified for the original planting and at no cost to the Owner.
  - B. Replacement period commences at Date of Substantial Completion and continues as follows:
    - a. Trees - one (1) year
    - b. Shrubs - ninety (90) days
    - c. Sod - ninety (90) days
    - d. Other Products - one (1) year
- Time limit may be extended by mutual agreement for material in questionable health at end of guarantee period.
- C. Plant damage by theft, vandalism, gross neglect, undue weather conditions, acts of God, or unseasonable planting are exempt from the guarantee provision.

- 3.3 INSTALLATION**
- A. Topsoil  
Spread topsoil over all areas to receive ground cover to a minimum compacted depth of 4 inches.
  - B. Rough Grading
    - 1. Mold land surfaces to within 1 inch of final grade. Construct swales and berms. Fill low areas. Ensure proper drainage of all areas. Spread 6 inch lifts at 85% compaction (Proctor)
    - 2. Slope grade away from buildings at a minimum slope of 1/2 inch per foot for a distance of 10 feet minimum.
  - C. Final Grading
    - 1. Remove all non-conforming matter from site, such as rocks, sods, sticks, building rubble, wire, or cans.
    - 2. Dig out weeds by the roots.
    - 3. Fill in soil amendments such as lime, iron, or gypsum if indicated by local conditions, but only after approval by landscape architect. Ensure uniform application.

- PART TWO - PRODUCTS**
- 2.0 MATERIALS**
- A. Topsoils shall be fertile, natural, and typical of the locality. It shall be without subsoil or slag and shall be free of stones, lumps, plants or their roots, sticks, or other extraneous matter that is not conducive to production of plant life, or would interfere with future maintenance.
  - B. Sod may have no visible broadleaf weeds when viewed from a standing position and the turf shall be visibly consistent with no obvious patches of foreign grasses. It may have no visible signs of disease or insect stress. In no case may the total amount of foreign grasses or weeds exceed 2% of the total canopy. The sod shall be (as noted on plan) neatly mowed and be mature enough that when grasped at one end it can be picked up and handled without damage.

- C. Seed shall meet the tolerance for germination and purity in accordance with the U.S. Department of Agriculture Rules and Regulations under the latest edition of the "Federal Seed Act" for certified seed. Seed shall be mixed by the dealers and shall be delivered to the site in sealed containers which shall bear the dealer's guaranteed analysis. Seed mixture and seeding rate shall be as specified on the drawings.
  - D. Fertilizer
    - 1. "Agri-form" or "Woodace" 21 gram tablet of 20-10-5 formulation.
    - 2. Granular fertilizer shall be a balanced formula, uniform in composition, free flowing and delivered to site in unopened bags.
  - E. Peat  
Incorporate black Florida peat into planting mix when specified on plant list at the following rates:
    - 1. 1 gallon plants - 1/8 cubic feet
    - 2. 3 gallon plants - 1 cubic feet
    - 3. Trees - 1/2 cubic foot per foot of height
  - F. Herbicide  
"Selfan" or "Preen" pre-emergent.
  - G. Additional Soil Amendments
    - 1. Apply as needed to bring soil into optimum growth range for specified plants.
    - 2. If soil is below 5.0 ph incorporate enough horticultural lime to bring within 5.6 to 6.5 ph range.
  - H. Plants
    - 1. Measured standing in natural form of the size indicated on plant list and grade "Florida No 1" unless otherwise indicated.
    - 2. Non-classified plants to meet AAN standards. Tree calipers shall be measured 6 inches above soil level.
    - 3. All plants shall be sound, healthy, free from insect pests and eggs, and have normal, healthy root systems.
    - 4. Form shall be symmetrical or typical for species and variety.
    - 5. Any plant may be rejected by landscape architect if not of satisfactory size, health, quality, or character.
    - 6. Trees having rootballs wrapped with synthetic burlap will be rejected.
  - I. Mulch shall be Pine bark, no cypress bark, & free from sticks, stones, leaves or other debris.
- 2.1 EQUIPMENT**  
Use magnesium grading rakes of 30 inch minimum width to remove irrigation in final grade prior to sodding or seeding and to ensure a flat subgrade.
- 2.2 MIXES**
- A. Planting Mixture
    - 1. Use the best natural soil existing on site, combined with fertilizer.

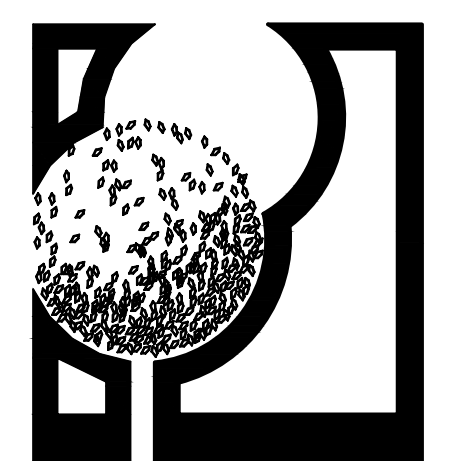
**PART THREE - EXECUTION**

- 3.0 EXAMINATION**
- A. Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for Contractor to perform his duties under the terms of this contract.
  - B. Review engineering drawings for additional information.
  - C. Coordinate work with Owner and other related trades.
  - D. Relocate existing plant material as directed by landscape architect, and according to drawings.
- 3.1 PROTECTION**  
Locate, identify and mark all known utilities in area of the work. Take reasonable care to avoid damages or hazards.
- 3.2 PREPARATION**  
Remove from site existing sods, seeds, inferior plantings and preconstruction debris as necessary to incorporate work to the site. Obtain verification regarding removal of questionable material. Clean up of debris from new construction (by other trades) is not included in this contract.

- D. Planting Pits  
Excavate to dimensions shown on plan.
- E. Plant Installation
  - 1. Do not crack or break soil away from root ball.
  - 2. Carefully set plant plumb, best side facing "out", at the same soil level, to 1" higher, as previously grown.
  - 3. Remove all twine, burlap, or rope from top third of root ball. Retain cloth under ball. Wash in backfill with slow hose.
  - 4. Form shallow basin at each plant. Adjust grade to 1 1/2" below adjacent pavement. All plants shall be 30" minimum from walls, walks and fences.
  - 5. Space ground cover in triangle pattern with outside row parallel to bedline, 1/2 plant spacing distance from edge.
- F. Sod Installation
  - 1. Sod all areas indicated on plan and areas disturbed by work of other trades.
  - 2. Lay panels tightly together. Top dress cracks with sand. Water thoroughly.
- G. Stake and Guy  
Stake and guy .as per plan.
- H. Fertilize  
Fertilize evenly at following rates:
  - 1. Tablet Fertilizer
    - 1 gallon plant - 1 tablet
    - 2 gallon plant - 1 to 2 tablets
    - 5 gallon plant - 2 to 3 tablets
    - Trees - 1 tablet per foot of height
  - 2. Granular Fertilizer  
Work into the top 2" of soil at the rate of 20 pounds per 1000 square feet for lawn areas.
- I. Prune  
Prune as little as necessary to remove damaged twigs. In any case, terminal leader shall not be topped either before or after installation.
- J. Herbicide  
Apply pre-emergent herbicide to all beds according to manufacturer's recommendations.
- K. Mulch  
Spread to a uniform depth of 2" min. Fluff and pat in place.

- 3.4 FIELD QUALITY CONTROL**
- A. Landscape architect or Owner may conduct periodic inspections to determine that the terms of this contract are fulfilled.
  - B. Contractor will be expected to participate with Owner in final inspection to review project for conformance to the contract. Items to be reviewed include type, quantities, sizes, locations, dimensions, and quality of materials and workmanship. Final payment for work will depend upon satisfactory condition of project on Date of Substantial Completion.

END OF SECTION

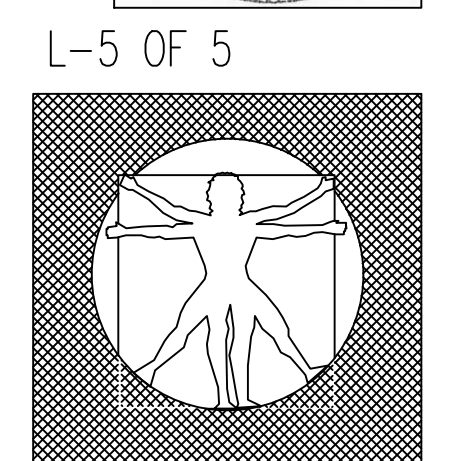


**DALE & COMPANY**  
Landscape Architecture Analysis Planning  
651 North Mills Avenue Orlando, Florida 32803 telephone (407) 894-1317

LANDSCAPE DETAILS & SPECIFICATIONS FOR  
**NW DISTRIBUTION CENTER - BLD. D**  
CITY OF APOPKA FLORIDA

DESIGNED BY: RCD  
DRAWN BY: RSH  
CHECKED BY: RCD  
DATE: 06-14-16

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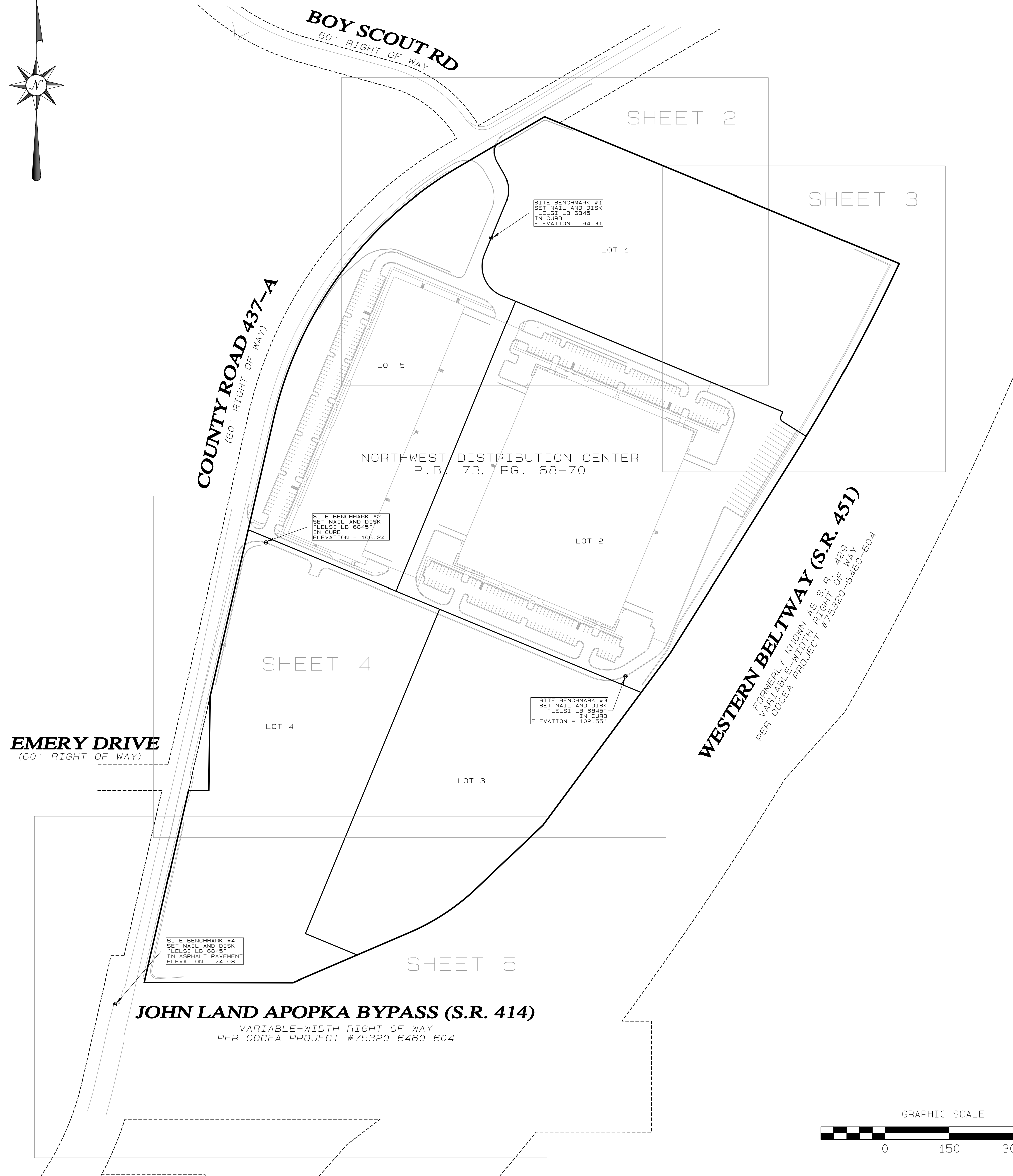
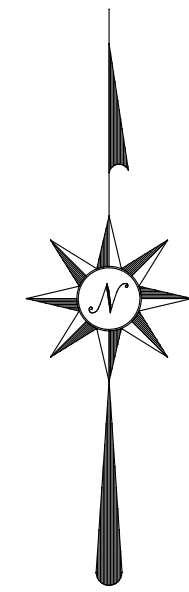






# TOPOGRAPHIC SURVEY OF A PORTION OF NORTHWEST DISTRIBUTION CENTER

SECTIONS 17 & 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST  
ORANGE COUNTY, FLORIDA



### SURVEYOR'S NOTES

- THIS TOPOGRAPHIC SURVEY WAS PREPARED FOR OAKMONT INDUSTRIAL GROUP. ADDITIONS OR DELETIONS BY ANYONE OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF LEADING EDGE LAND SERVICES, INC.
- THIS IS NOT A BOUNDARY SURVEY.
- THIS TOPOGRAPHIC SURVEY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE INFORMATION WAS PROVIDED TO THE SURVEYOR.
- UNLESS OTHERWISE NOTED, SURVEY MEASUREMENTS AND PLOTTED FEATURES SHOWN ON THIS SURVEY ARE BASED ON ACTUAL FIELD MEASUREMENTS.
- THE ACCURACY OF THIS SURVEY MEETS OR EXCEEDS STANDARDS SET FORTH IN ADMINISTRATIVE RULE 5J-17 "STANDARDS OF PRACTICE FOR SURVEYORS AND MAPPERS."
- THE FOLLOWING WERE USED IN THE PREPARATION OF THIS SURVEY:
  - ALTA/ACSM LAND TITLE SURVEY OF THE NORTHWEST DISTRIBUTION CENTER PREPARED BY LEADING EDGE LAND SERVICES, INC. FOR OAKMONT INDUSTRIAL GROUP, JOB NUMBER 422-06001, DATED APRIL 9, 2008 AND LAST REVISED MAY 12, 2008
  - PLAT OF NORTHWEST DISTRIBUTION CENTER AS RECORDED IN PLAT BOOK 73, PAGES 68-70 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA
- ONLY VISIBLE IMPROVEMENTS WERE LOCATED AND ARE SHOWN AS PART OF THIS SURVEY. NO ATTEMPT WAS MADE TO LOCATE OR VERIFY SUBSURFACE IMPROVEMENTS OR ENCROACHMENTS. UNDERGROUND UTILITIES SHOWN ON THIS SURVEY WERE TAKEN FROM THE ALTA SURVEY REFERENCED IN NOTE 6A.
- A REVIEW OF FLOOD INSURANCE RATE MAPS FOR ORANGE COUNTY, FLORIDA, INDICATES THAT THIS PROPERTY LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN). THIS INFORMATION WAS TAKEN FROM MAP NUMBER 12095C0120F, REVISED SEPTEMBER 25, 2009.
- THE VERTICAL DATUM FOR THIS SURVEY IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVOD83). THIS SURVEY IS BASED ON THE FOLLOWING BENCHMARK: ORANGE COUNTY BENCHMARK LB53-005, A 2" BRASS DISK ON CONCRETE MANHOLE STRUCTURE AT INTERSECTION OF BOY SCOUT ROAD & OCEE APOPKA ROAD, ELEVATION = 92.13 FEET. SITE BENCHMARKS ARE SHOWN AND DESCRIBED GRAPHICALLY.

### LEGEND

- TEMPORARY BENCHMARK
- STORM MANHOLE
- SANITARY MANHOLE
- OTHER MANHOLE
- CATCH BASIN
- WATER OR SEWER VALVE
- WATER VALVE
- IRRIGATION VALVE
- MITERED END SECTION
- BACKFLOW PREVENTER
- CLEANOUT
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- ELECTRIC BOX
- POWER POLE
- GUY ANCHOR
- LIGHT POLE
- UTILITY MARKER
- SIGN
- SPOT ELEVATION - HARD SURFACE
- SPOT ELEVATION - GROUND SHOT
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND TELEPHONE LINE
- STORM SEWER LINE
- SANITARY SEWER LINE
- FORCE MAIN
- WATER LINE
- FENCE LINE
- P.B. PLAT BOOK
- PG. PAGE
- R/W RIGHT OF WAY
- S.R. STATE ROAD
- LELSI LEADING EDGE LAND SERVICES, INCORPORATED
- LB LICENSED BUSINESS
- PSM PROFESSIONAL SURVEYOR & MAPPER
- EL ELEVATION
- INV INVERT
- CLF CHAIN LINK FENCE
- MES MITERED END SECTION
- CPP CORRUGATED PLASTIC PIPE
- PVC POLYVINYL CHLORIDE PIPE
- PIV POST INDICATOR VALVE
- RWV REUSE WATER VALVE
- IT IRRIGATION TIMER
- OCEA ORLANDO-ORANGE COUNTY EXPRESSWAY AUTHORITY

REVISIONS:

21 JUN 2016: EXPANDED TOPOGRAPHIC SURVEY AREA

DATE OF DRAWING: 28 OCT 2014  
MANAGER: PRJ | CADD: EAC  
PROJECT NUMBER: 422-14004  
COMPUTER FILE: 42204TPG.PRO  
FIELD BOOK NUMBER: LE 980.1007.1010  
SCALE: 1" = 150'  
SHEET 1 OF 5

DATE: \_\_\_\_\_

PAUL R. JACKSON PSM #6719

### SURVEYOR'S CERTIFICATION

I, THE UNDERSIGNED FLORIDA LICENSED SURVEYOR AND MAPPER, DO HEREBY CERTIFY THAT I HAVE COMPLETED THIS SURVEY IN ACCORDANCE WITH THE STANDARDS AND RULES OF PRACTICE FOR SURVEYORS AND MAPPERS.

### TOPOGRAPHIC SURVEY

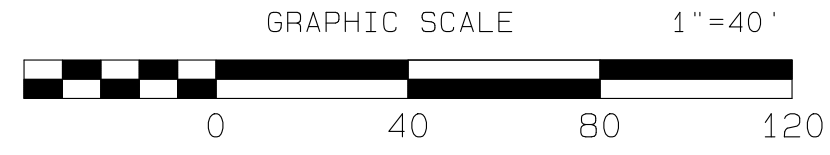
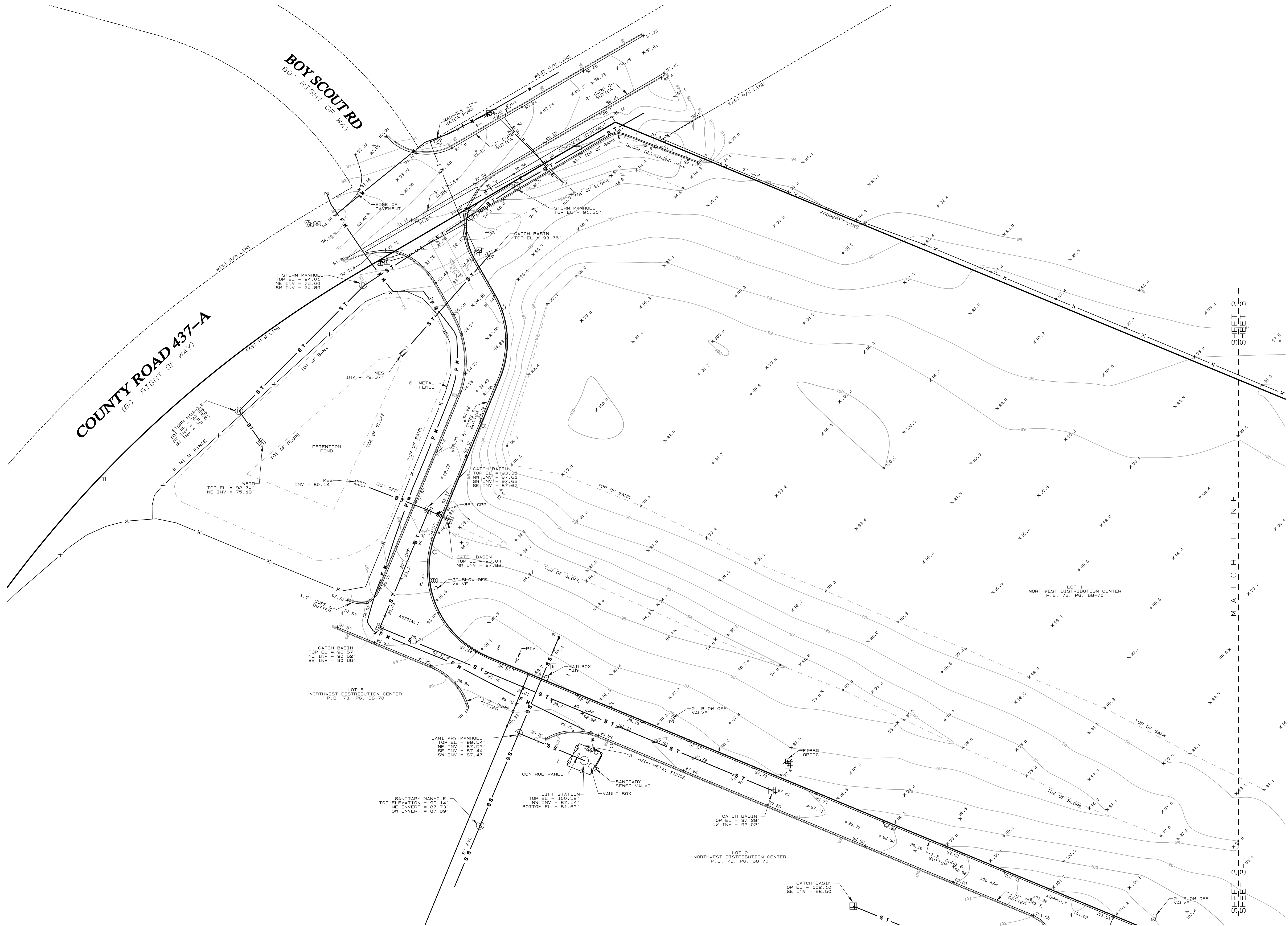
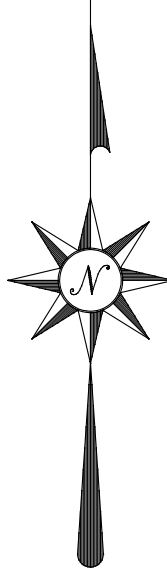
OF  
A PORTION OF NORTHWEST DISTRIBUTION CENTER  
SECTIONS 17 & 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST  
ORANGE COUNTY, FLORIDA

FOR  
**OAKMONT INDUSTRIAL GROUP**

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

**LEADING EDGE LAND SERVICES**  
INCORPORATED  
8802 EXCHANGE DRIVE  
ORLANDO, FLORIDA 32809  
PHONE: (407) 351-6730  
FAX: (407) 351-9691  
www.leadingedgegis.com  
FLORIDA LICENSED BUSINESS NUMBER LB 8846





NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER (SEE SHEET 1 OF 5)

REVISIONS:	
21 JUN 2016:	EXPANDED TOPOGRAPHIC SURVEY AREA
DATE OF DRAWING:	28 OCT 2014
MANAGER: PRJ	CADD: EAC
PROJECT NUMBER:	422-14004
COMPUTER FILE:	42204TPG.PRO
FIELD BOOK NUMBER:	LE 960.1007.1010
SCALE:	1" = 40'
SHEET 2 OF 5	

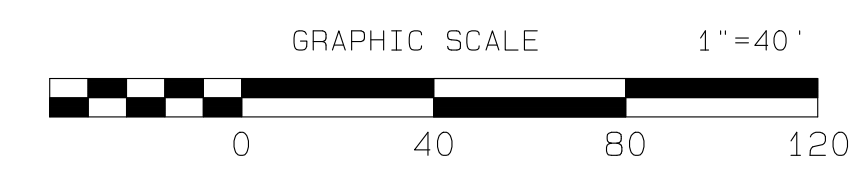
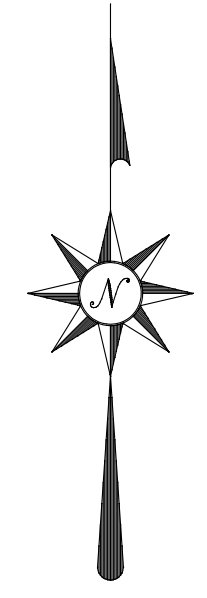
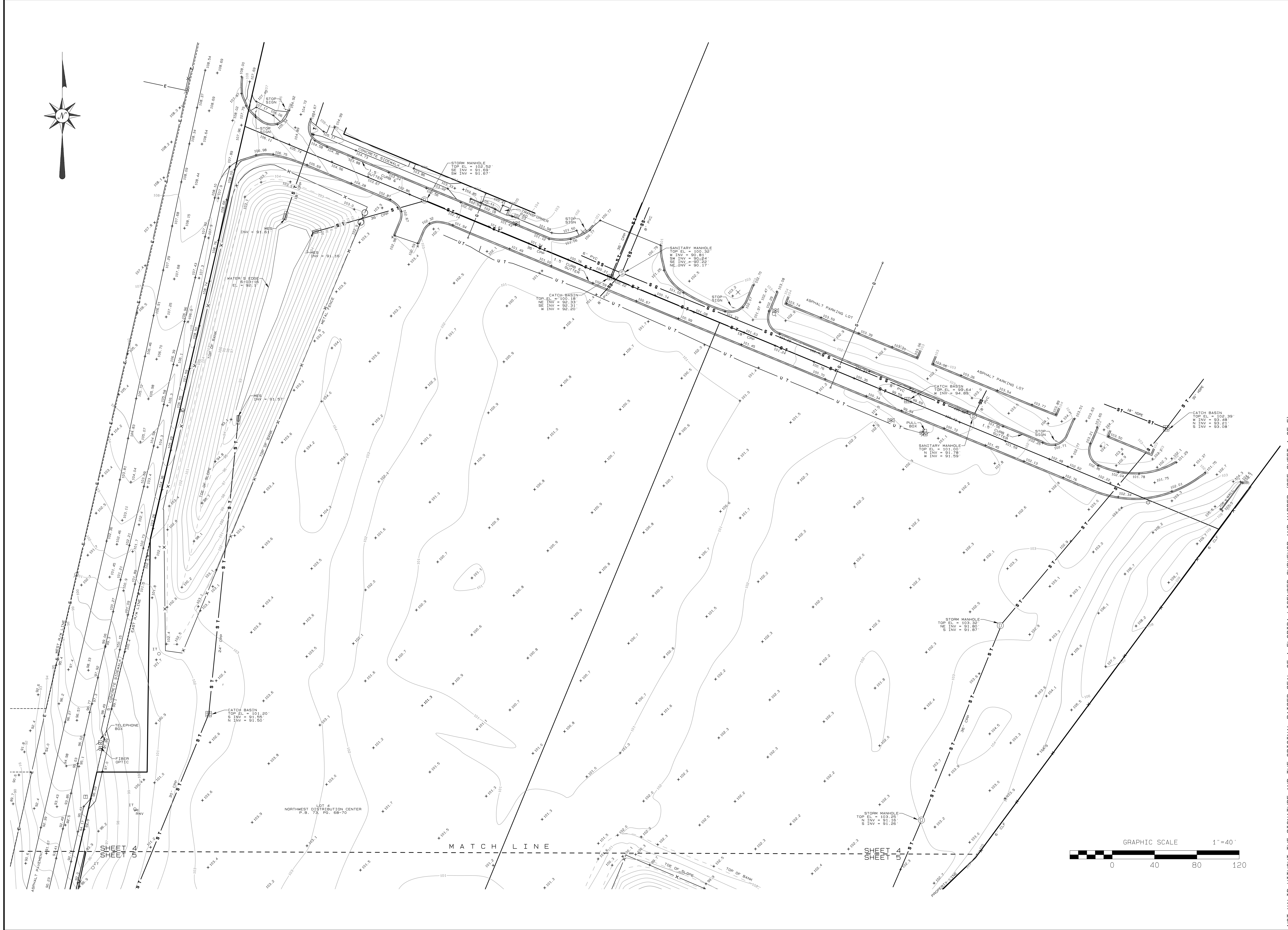
**TOPOGRAPHIC SURVEY**  
 OF  
 A PORTION OF NORTHWEST DISTRIBUTION CENTER  
 SECTIONS 17 & 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST  
 ORANGE COUNTY, FLORIDA

**FOR**  
**OAKMONT INDUSTRIAL GROUP**

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 8802 EXCHANGE DRIVE  
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 www.leadingedge3d.com  
 FLORIDA LICENSED BUSINESS NUMBER LB 6846





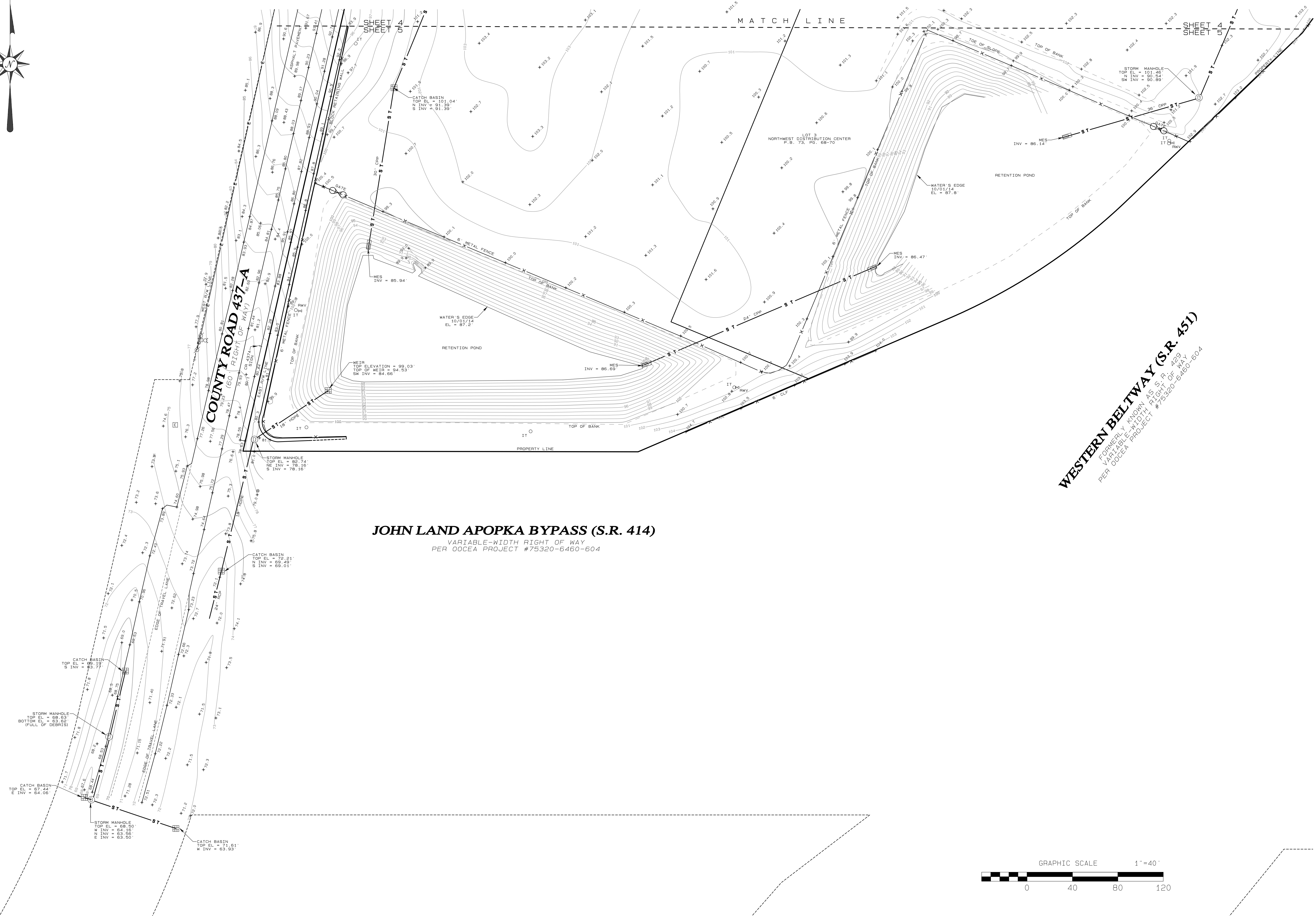
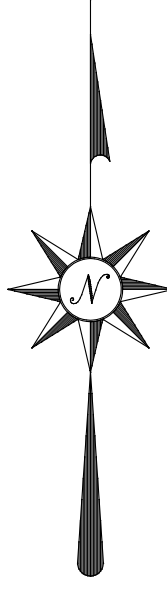


NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER (SEE SHEET 1 OF 5)

REVISIONS:	
21 JUN 2016: EXPANDED TOPOGRAPHIC SURVEY AREA	
DATE OF DRAWING: 28 OCT 2014	LAST FIELD WORK: 15 OCT 2014
MANAGER: PRJ	CREW CHIEF (S): RME, JOK
PROJECT NUMBER: 422-14004	COMPUTER FILE: 42204TPG.PRO
FIELD BOOK NUMBER: LE 960.1007.1010	SCALE: 1" = 40'
	SHEET 4 OF 5

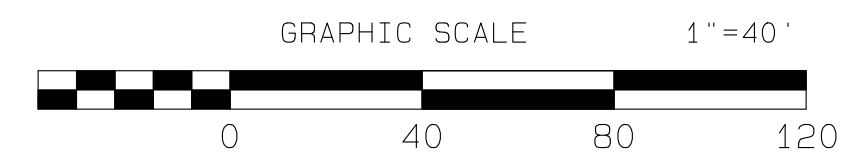
**TOPOGRAPHIC SURVEY**  
 OF  
 A PORTION OF NORTHWEST DISTRIBUTION CENTER  
 SECTIONS 17 & 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST  
 ORANGE COUNTY, FLORIDA  
 FOR  
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 8802 EXCHANGE DRIVE  
 ORLANDO, FLORIDA 32809  
 PHONE: (407) 351-6730  
 FAX: (407) 351-9691  
 www.leadingedgeps.com  
 FLORIDA LICENSED BUSINESS NUMBER LB 6846



**JOHN LAND APOPKA BYPASS (S.R. 414)**  
 VARIABLE-WIDTH RIGHT OF WAY  
 PER OOCEA PROJECT #75320-6460-604

**WESTERN BELTWAY (S.R. 451)**  
 FORMERLY UNKNOWN AS S. P. 4239  
 VARIABLE-WIDTH RIGHT OF WAY  
 PER OOCEA PROJECT #75320-6460-604



NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER (SEE SHEET 1 OF 5)

**TOPOGRAPHIC SURVEY**

OF  
 A PORTION OF NORTHWEST DISTRIBUTION CENTER  
 SECTIONS 17 & 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST  
 ORANGE COUNTY, FLORIDA

FOR  
**OAKMONT INDUSTRIAL GROUP**



8802 EXCHANGE DRIVE  
 ORLANDO, FLORIDA 32809  
 PHONE: (407) 351-6730  
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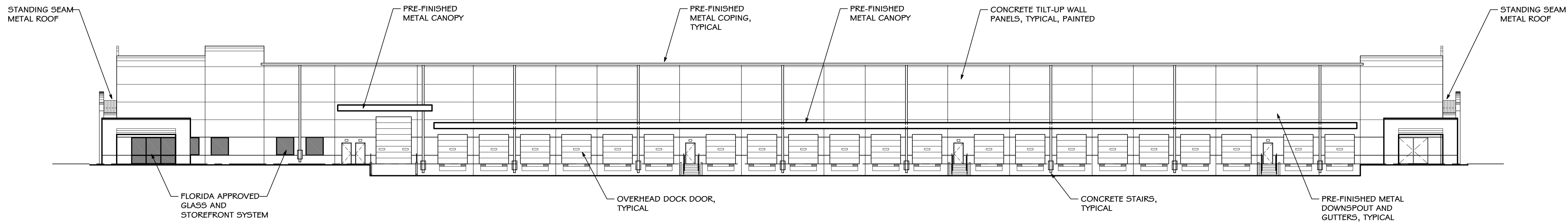
www.leadingedge3d.com

FLORIDA LICENSED BUSINESS NUMBER LB 6846

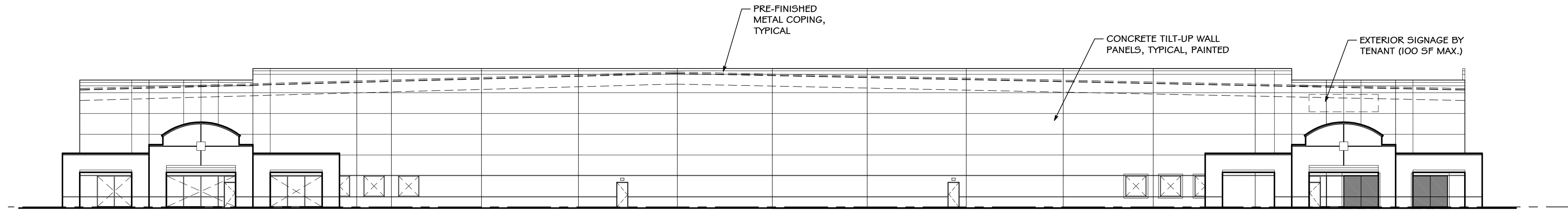
REVISIONS:  
 21 JUN 2016: EXPANDED TOPOGRAPHIC SURVEY AREA

DATE OF DRAWING: 28 OCT 2014	LAST FIELD WORK: 15 OCT 2014
MANAGER: PRJ   CAD: EAC	CREW CHIEF(S): RME, JJK
PROJECT NUMBER: 422-14004	COMPUTER FILE: 42204TPG.PRO
FIELD BOOK NUMBER: LE 960.1007.1010	SCALE: 1" = 40'
	SHEET 5 OF 5

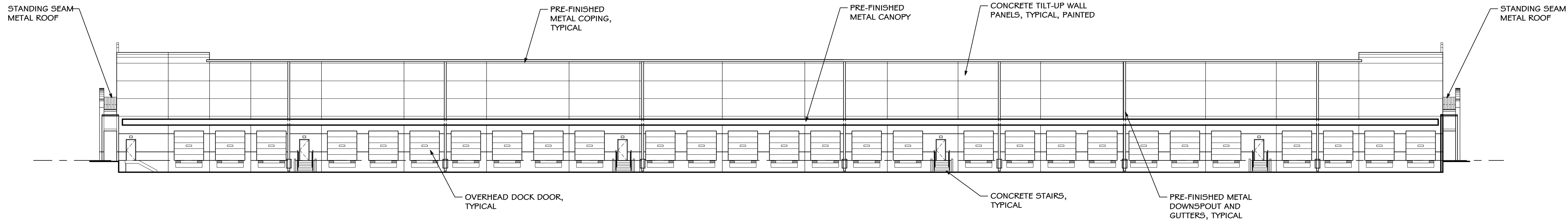




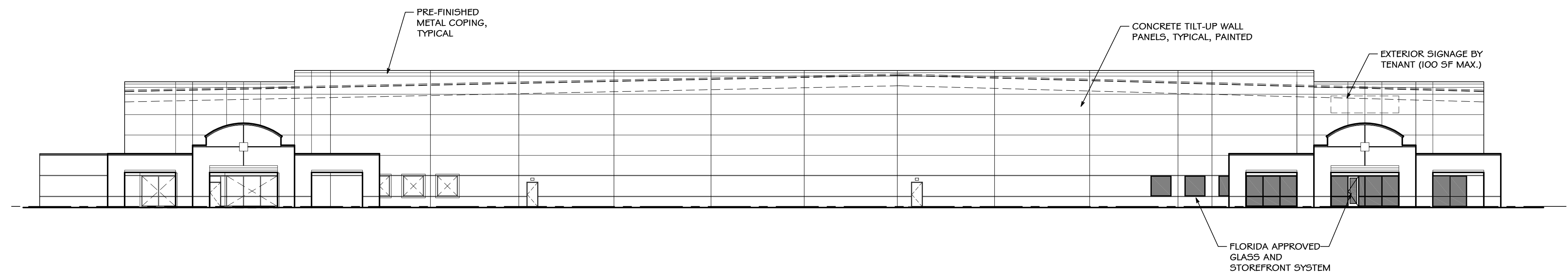
1 SOUTH ELEVATION  
A5.1 SCALE: 1"=20'-0"



2 EAST ELEVATION  
A5.1 SCALE: 1"=20'-0"



3 NORTH ELEVATION  
A5.1 SCALE: 1"=20'-0"



4 WEST ELEVATION  
A5.1 SCALE: 1"=20'-0"

CONSULTING ENGINEERS  
ELECTRICAL: \_\_\_\_\_  
PLUMBING: \_\_\_\_\_  
FIRE PROTECTION: \_\_\_\_\_  
RICHARD ADAMS ENGINEERING  
5507 E. BUSCH BLVD.  
SUITE 100  
DENVER, CO 80231  
RICHARD ADAMS (P) 813-884-4000

CONTRACTOR  
**ARCO**  
NATIONAL CONSTRUCTION-KC  
5015 NW CANAL STREET, SUITE 110  
ROSELAND, MISSOURI 64089  
PH: 816-833-8300  
FAX: 816-833-8302  
WWW.ARCCO-KC.COM

ARCHITECT  
**GMA**  
ARCHITECTS  
800 NORTH ROCK HILL ROAD  
ST. LOUIS, MISSOURI 63105  
PH: 314-833-0714  
WWW.GMA-ARCHITECTS.COM

**OAKMONT INDUSTRIAL GROUP**  
CUSTOM DISTRIBUTION SERVICES, INC.  
NORTHWEST DISTRIBUTION FACILITY - BUILDING D  
APOPKA, FL 32703

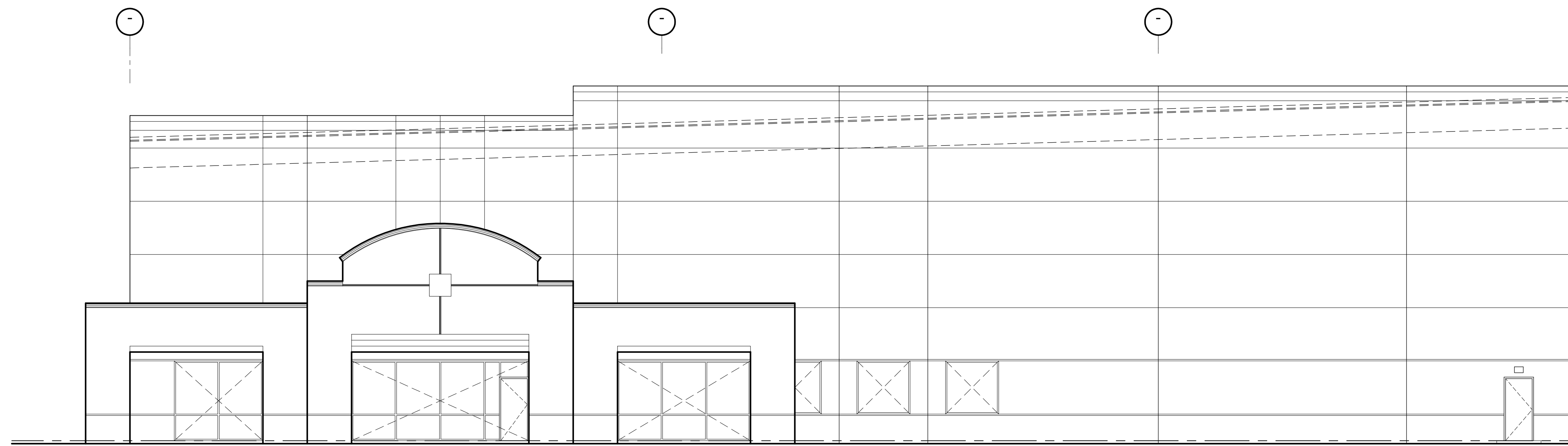
PROJECT

JOB NO : SJ1641  
PA : MEM  
DATE : TBD

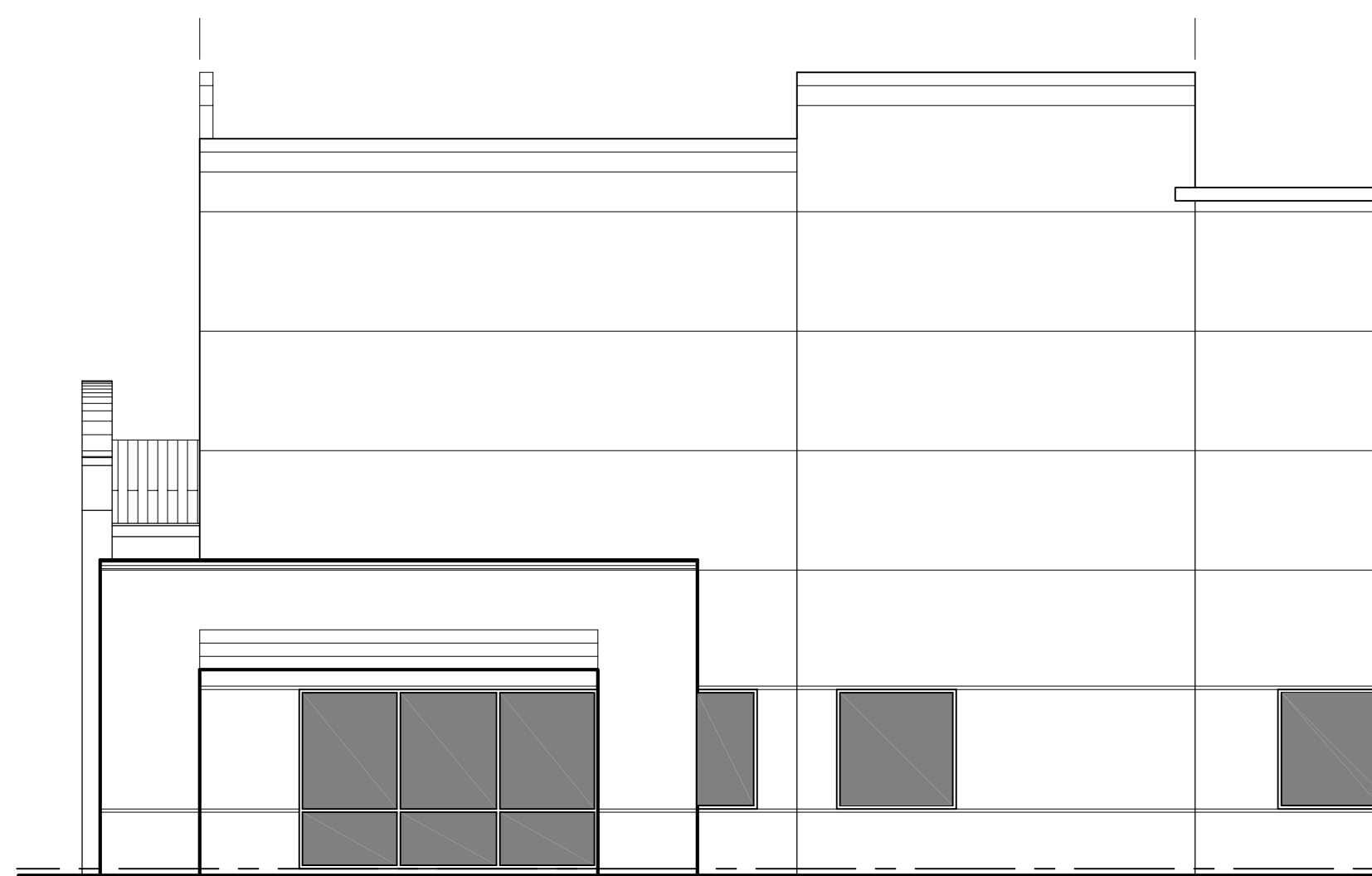
REVISIONS


SHEET NUMBER  
**A5.1**  
EXTERIOR ELEVATIONS

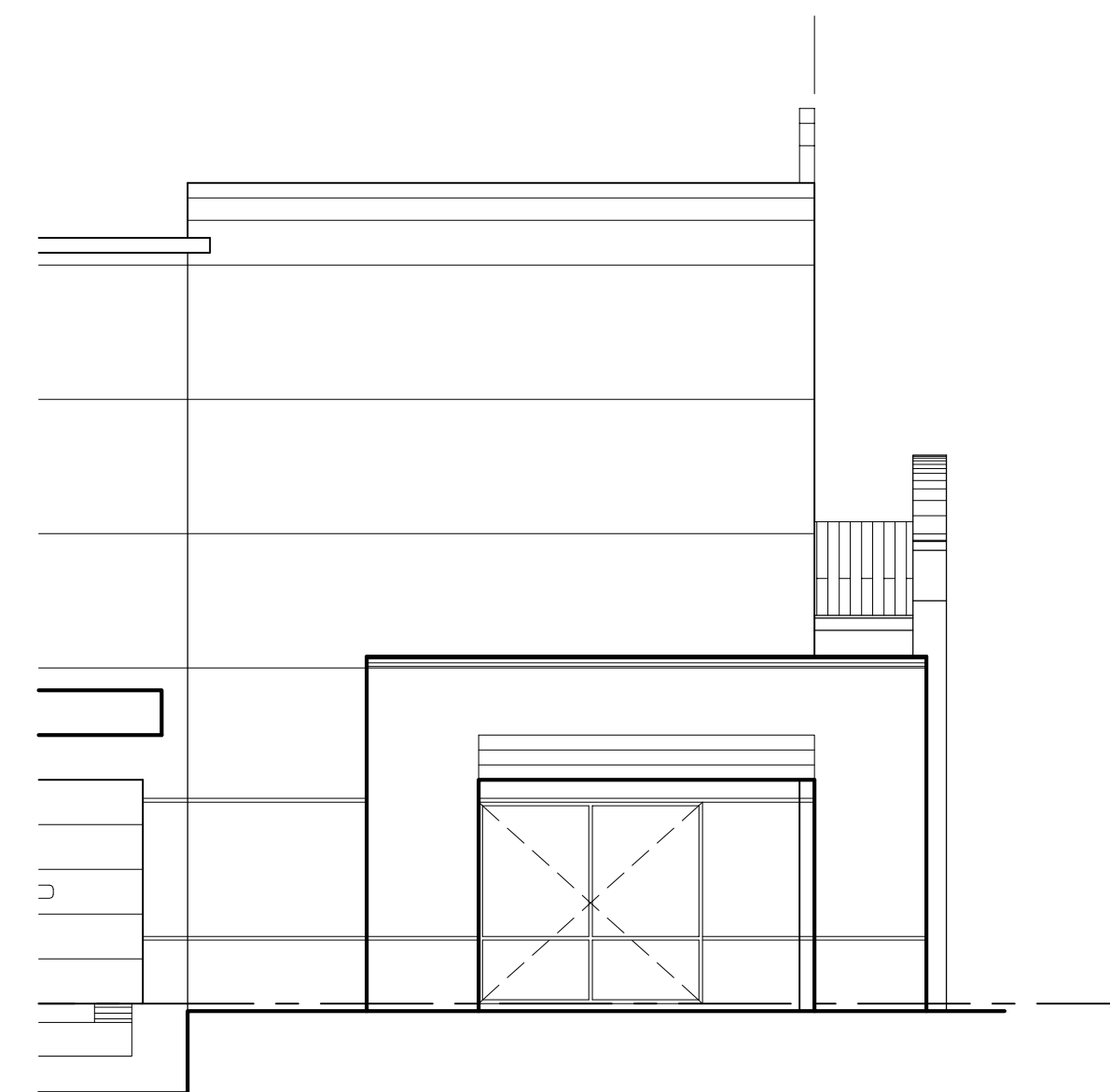
PROGRESS SET (NOT FOR CONSTRUCTION) - 06.30.2016



**1** PARTIAL ELEVATION  
A5.2 SCALE: 1/8" = 1'-0"



**1** PARTIAL ELEVATION  
A5.2 SCALE: 1/8" = 1'-0"



**1** PARTIAL ELEVATION  
A5.2 SCALE: 1/8" = 1'-0"

**GENERAL ELVATION NOTES**

I. XXX

- ELEVATION KEY NOTES**
- SEE ELEVATIONS THIS SHEET FOR KEYED NOTES THAT APPLY TO THIS SHEET
- 1 TILT-UP INSULATED CONCRETE PANELS WITH REVEALS, PAINTED - SEE SECTIONS FOR MORE DETAIL.
  - 2 1" INSULATED SPANDREL GLAZING IN PRE-FINISHED ALUMINUM STOREFRONT SYSTEM
  - 3 1" INSULATED GLAZING IN PRE-FINISHED ALUMINUM STOREFRONT SYSTEM
  - 4 PAINTED HOLLOW METAL DOOR AND FRAME - SEE PLAN FOR ADDITIONAL INFORMATION.
  - 5 PRE-FINISHED METAL COPING CAP
  - 6 OVERHEAD DOOR SEE PLAN AND DOOR SCHEDULE.
  - 7 PRE-FINISHED METAL DRAIN, COLLECTOR HEAD AND DOWNSPOUT.
  - 8 PRE-FINISHED METAL OVERFLOW SCUPPER - SEE ROOF DETAILS

**COLOR LEGEND**

	PT-1	TBD
	PT-2	TBD
	PT-3	TBD
	PT-4	TBD

PROGRESS SET (NOT FOR CONSTRUCTION) - 06.30.2016

**ARCHITECT**  
**GMA**  
 ARCHITECTS  
 900 NORTH ROCK HILL ROAD  
 ST. LOUIS, MO 63101  
 (314) 833-8300  
 WWW.GMA-ARCHITECTS.COM

**CONTRACTOR**  
**ARCO**  
 NATIONAL CONSTRUCTION, KC  
 5015 NW CANAL STREET, SUITE 110  
 ROXBOROUGH, MISSOURI 64109  
 (816) 833-8300  
 WWW.ARCCO-KC.COM

**CONSULTING ENGINEERS**  
 ELECTRICAL: \_\_\_\_\_  
 PLUMBING: \_\_\_\_\_  
 MECHANICAL: \_\_\_\_\_  
 RICHARD ADAMS ENGINEERING  
 5507 E. BUSH BLVD  
 RICHARD ADAMS (P) 813-984-4000

**PROJECT**  
**OAKMONT**  
 INDUSTRIAL GROUP  
 NORTHWEST DISTRIBUTION FACILITY - BUILDING D  
 APOPKA, FL 32703

JOB NO : SJ1641  
 PA : MEM  
 DATE : TBD

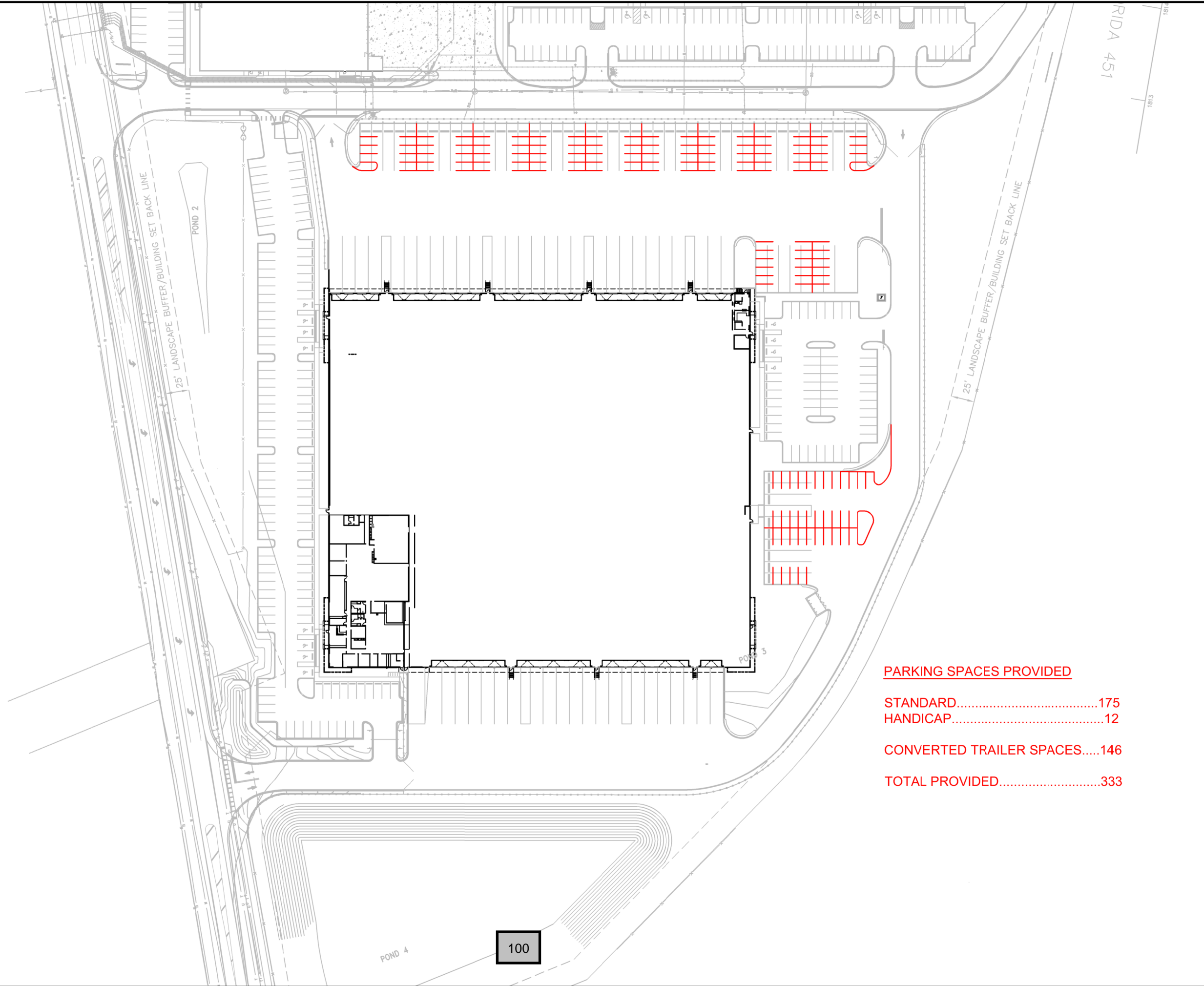
REVISIONS

SHEET NUMBER  
**A5.2**  
 EXTERIOR ELEVATIONS

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Dbrinkman  
 8/25/2016  
 J:\OIG-002.04\Drawings\Exhibits\2016-08-25 - Additional Parking Spaces\Additional Parking Overlay.dwg



**PARKING SPACES PROVIDED**

STANDARD.....	175
HANDICAP.....	12
CONVERTED TRAILER SPACES.....	146
<b>TOTAL PROVIDED.....</b>	<b>333</b>

100

REV.	DATE	DESCRIPTION	APPD BY

**NORTHWEST DISTRIBUTION CENTER - BUILDING D**  
 ALTERNATIVE PARKING EXHIBIT

**HIGHLAND ENGINEERING, INC.**  
 1301 Howe Road, Suite 240  
 Orlando, Florida 32817  
 Office 407-275-7877  
 Fax 407-275-7801  
 CA No. 27812

JOB No.:	OIG-002.04
DESIGNED BY:	JB
DRAWN BY:	DB
APPROVED BY:	JB
DATE:	08/25/16
SHEET:	EXH 1



August 24, 2016

Mr. Rogers Beckett, Sr. Projects Coordinator  
City of Apopka  
Community Development Department  
120 East Main Street, Second Floor  
Apopka, FL 32703

**Re: Northwest Distribution Center Build-To-Suit for Quality Custom Distribution Services, Inc.**

Dear Mr. Beckett:

In support of the parking variance request for the above referenced project, see the attached letter and parking analysis from Quality Custom Distribution Services, Inc. ("QCD"). As you will see from their letter and analysis, the designed 187 auto spaces exceeds the maximum projection by 35% and the designed trailer spaces is right in line with the projections.

We have also attached a similar parking analysis for the 2 existing buildings in Northwest Distribution Center which are 100% leased. This analysis shows the following actual densities: 1 office employee for each 284 SF of office; 1 warehouse employee for each 5,433 SF of warehouse and 0.07 trailer spaces for each 1,000 SF of warehouse. These actual densities are significantly less than either the projected or designed densities for QCD and further support the requested parking variance.

It is my understanding that the current code would require 330 auto spaces for QCD in lieu of the designed 187 spaces. Providing 330 spaces would put an undue burden on the project and would make the expansion of QCD impossible. We respectfully request approval of the requested parking variance.

Please let me know if you need any additional information.

Sincerely,

A handwritten signature in black ink that reads "Thomas A. Cobb". The signature is written in a cursive style with a large initial "T".

Thomas A. Cobb  
Senior V.P., Development



# QUALITY

CUSTOM DISTRIBUTION SERVICES INC.

*a golden state foods company*

August 24, 2016

Mr. Thomas A. Cobb  
Oakmont Industrial Group  
3520 Piedmont Road, Suite 100  
Atlanta, GA 30305

**Re: Northwest Distribution Center Build-To-Suit for Quality Custom Distribution Services, Inc.**

Dear Tom:

As part of the design process for our proposed 180,000 SF Build-To-Suit project at Northwest Distribution Center in Apopka, FL, we understand that a parking variance is required in order to accommodate the auto and truck parking requirements of our use. In order to assist with this process we are providing the following information in order to substantiate the project design with 187 auto spaces and 59 truck/trailer spaces.

#### **Requirements upon initial operations**

- Total number of employees 110
- Number of shifts 3
- Maximum number of employees for largest shift 75 (75 auto spaces)
- Required truck/trailer parking spaces, excluding dock doors 59

#### **Requirements after full ramp of operations (Expected to be 2 years after occupancy)**

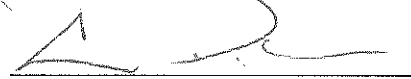
- Total number of employees 160
- Number of shifts 3
- Maximum number of employees for largest shift 90 (90 auto spaces)
- Required truck/trailer parking spaces, excluding dock doors 59

In further support of our required parking, we have done an analysis of 5 of our existing facilities across the country including our current operations at Northwest Distribution Center (See attached analysis). This analysis looks at the square footage of office and warehouse as well as the maximum number of office and warehouse employees and trailer spaces at each facility. We then took the employee and trailer density data from these existing facilities and applied them to our proposed 180,000 SF project. We looked at the average densities of all 5 facilities and then also looked at the densities for the most comparable existing facility located in Pineville, NC. These results project that we would require 138 auto spaces and 58 trailer spaces using the 5 building averages and 136 auto spaces and 58 trailer spaces using the Pineville employee densities and again using the average trailer density.

Since our new facility will operate with multiple shifts, our projected parking requirement of 90 spaces is less than what the attached analysis projects. The designed 187 auto spaces exceeds the highest projected parking requirement by 35% and the designed 59 trailer spaces is right in line with the projected 58 trailer spaces in the attached analysis. This analysis should sufficiently justify the requested parking variance.

Please let us know if you need any additional information. We look forward to expanding our operations with Oakmont and the City of Apopka.

Very truly yours,



Kevin McDade  
General Manager  
1451 Ocoee Apopka RD BLD B Suite 300  
Apopka FL 32703  
Phone: 321-248-7551



QCD Existing Parking Analysis For Largest Shift

Existing Facilities								
NWDC Buildings A & B - Apopka, Florida								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse/Driver Employees	SF/Warehouse & Driver Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
4,512	18	251	91,562	40	2,289	20	0.22	
Total Required Auto Parking - 58								
Total Required Trailer Spaces - 20								
Project 2 - Pineville, NC								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse/Driver Employees	SF/Warehouse & Driver Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
15,000	35	429	105,000	65	1,615	32	0.30	
Total Required Auto Parking - 100								
Total Required Trailer Spaces - 32								
Project 3 - Miami, FL								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse/Driver Employees	SF/Warehouse & Driver Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
3,800	9	422	38,920	25	1,557	18	0.46	
Total Required Auto Parking - 34								
Total Required Trailer Spaces - 18								
Project 4 - Suffolk, VA								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse/Driver Employees	SF/Warehouse & Driver Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
5,000	17	294	43,000	40	1,075	18	0.42	
Total Required Auto Parking - 57								
Total Required Trailer Spaces - 18								
Project 5 - Spokane, WA								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse/Driver Employees	SF/Warehouse & Driver Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
2,000	6	333	17,000	8	2,125	6	0.35	
Total Required Auto Parking - 14								
Total Required Trailer Spaces - 6								

Proposed Facility Based on Average of 5 Existing Facilities								
NWDC Building D - Apopka, Florida								
Office SF	Office Employees	AVG. SF/Office Employee	Warehouse SF	Warehouse/Driver Employees	AVG. SF/Warehouse & Driver Employee	Trailer Spaces	AVG. Trailer Spaces/1,000 WHSF	
14,448	42	346	165,552	96	1,732	58	0.35	
Total Required Auto Parking - 138								
Total Required Trailer Spaces - 58								

Proposed Facility Based on The Most Comparable Existing Facility								
NWDC Building D - Apopka, Florida								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse/Driver Employees	SF/Warehouse Employee	Trailer Spaces	AVG. Trailer Spaces/1,000 WHSF	
14,448	34	429	165,552	102	1,615	58	0.35	
Total Required Auto Parking - 136								
Total Required Trailer Spaces - 58								

Parking Analysis For Existing Tenant Facilities at NWDC

NWDC Building B -Access Information Mgmt.								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse Employees	SF/Warehouse Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
1,865	4	466	38,193	4	9,548	0	0.00	
Total Required Auto Parking - 8								
Total Required Trailer Spaces - 0								
NWDC Building B -Coke								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse Employees	SF/Warehouse Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
1,257	2	629	98,859	4	24,715	0	0.00	
Total Required Auto Parking - 6								
Total Required Trailer Spaces - 0								
NWDC Buildings A & B -QCD								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse Employees	SF/Warehouse Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
4,512	18	251	91,562	40	2,289	20	0.22	
Total Required Auto Parking - 58								
Total Required Trailer Spaces - 20								
NWDC Building A -Container Centralen								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse Employees	SF/Warehouse Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
214	1	214	22,294	4	5,574	0	0.00	
Total Required Auto Parking - 5								
Total Required Trailer Spaces - 0								
NWDC Building A -Miner								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse Employees	SF/Warehouse Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
3,616	19	190	17,992	1	17,992	0	0.00	
Total Required Auto Parking - 20								
Total Required Trailer Spaces - 0								
NWDC Building A -SupplyOne								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse Employees	SF/Warehouse Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
1,591	2	796	35,325	3	11,775	0	0.00	
Total Required Auto Parking - 5								
Total Required Trailer Spaces - 0								

NWDC Totals								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse Employees	SF/Warehouse Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
13,055	46	284	304,225	56	5,433	20	0.07	
Total Required Auto Parking - 102								
Total Required Trailer Spaces - 20								