

I. CALL TO ORDER

If you wish to appear before the Planning Commission, please submit a "Notice of Intent to Speak" card to the Recording Secretary.

II. OPENING AND INVOCATION

III. APPROVAL OF MINUTES:

1. Approve minutes of the Planning Commission regular meeting held August 9, 2016, at 5:30 p.m.

IV. PUBLIC HEARING:

- 1. COMPREHENSIVE PLAN SMALL SCALE FUTURE LAND USE AMENDMENT Owned by Equity Waters Edge, LLC, c/o David Shapiro, from "County" Rural (1 du/10 ac) to "City" Mixed Use, for property located at 1850 South Binion Road. (Parcel ID #: 19-21-28-0000-00-011)
- 2. CHANGE OF ZONING Owned by Equity Waters Edge, LLC, c/o David Shapiro, from "County" A-1 (Rural) to "City" Mixed-EC (Mixed Use), for property located at 1850 South Binion Road. (Parcel ID #: 19-21-28-0000-00-011)
- 3. MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN AMENDMENT Robert K. Dunn, Et. Al., for property located north of Old Dixie Highway, east of Richard L. Mark Drive, and south of Errol Parkway. (Parcel ID #s: 05-21-28-0000-00-019, 05-21-28-0000-00-034, 05-21-28-0000-00-035 & 05-21-28-0000-00-00-041)
- <u>4.</u> CHANGE OF ZONING Orchid Estates Planned Unit Development Master Plan Owned by JTD Land at Orchid Estates, c/o James Fant and located south of Kelly Park Road, west of Jason Dwelley Parkway. (Parcel ID #s: 18-20-28-0000-00-055 & 18-20-28-0000-00-059

V. SITE PLANS:

1. PRELIMINARY DEVELOPMENT PLAN - NORTHWEST DISTRIBUTION FACILITY BUILDING "D" – Owned by Oakmont Apopka Road, LLC; applicant is Oakmont Industrial Group c/o Jimmy Stainback. Property located on Ocoee Apopka Road between S.R. 451 and Ocoee-Apopka Road and east of Boy Scout Road. (Parcel ID #s: 17-21-28-5953-03-000; 17-21-28-5953-04-000)

VI. OLD BUSINESS:

VII. NEW BUSINESS:

VIII. ADJOURNMENT:

All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

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Backup material for agenda item:

1 Approve minutes of the Planning Commission regular meeting held August 9, 2016, at 5:30 p.m.

MINUTES OF THE PLANNING COMMISSION MEETING HELD ON AUGUST 9, 2016, AT 5:30 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.

MEMBERS PRESENT: James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Linda Laurendeau, Jose Molina, and Roger Simpson

ABSENT: Orange County Public Schools (Non-voting)

OTHERS PRESENT: Mark Reggentin, AICP – Community Development Director, David Moon, AICP - Planning Manager, Andrew Hand, Esq., Rogers Beckett – Senior Projects Coordinator, Kyle Wilkes, AICP – Planner II, Teresa Sargeant, Suzanne Kidd, John M. Florio, John Townsend, Suzanne Sweeney, and Jeanne Green – Community Development Department Office Manager/Recording Secretary.

OPENING AND INVOCATION: Chairman Greene called the meeting to order and asked for a moment of silent prayer. The Pledge of Allegiance followed.

APPROVAL OF MINUTES: Chairperson Greene asked if there were any corrections or additions to the meeting minutes of July 12, 2016, at 5:30 p.m. minutes.

Motion: Melvin Birdsong made a motion to approve the Planning Commission minutes from the meeting held on July 12, 2016, at 5:30 p.m. and seconded by Jose Molina. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Linda Laurendeau, and Jose Molina (6-0).

Roger Simpson arrived at 5:35.

LEGISLATIVE – LAND DEVELOPMENT CODE AMENDMENT – EX PARTE CONTACT -Chairperson Greene stated this is a request to recommend approval of an amendment to the City of Apopka Code of Ordinances, Part III, Land Development Code, Article 1, to adopt provisions to provide access to public officials of the City of Apopka regarding quasi-judicial matters.

<u>Staff Presentation</u>: Mark Reggentin, AICP, Community Development Director, stated this is a request to recommend approval of an amendment to the City of Apopka Code of Ordinances, Part III, Land Development Code, Article 1, to adopt provisions to provide access to public officials of the City of Apopka regarding quasi-judicial matters.

It has been the recent policy of the city to allow ex'parte communication between elected and appointed board members and the public. This policy is based upon the belief that the public should be able to voice their opinions on quasi-judicial matters to city officials prior to a public hearing on the issue. In order to address this concern on a state wide basis, the legislature enacted Section 286.0115 of the Florida Statutes to address a process for disclosure of ex'parte communications and without a presumption of prejudice.

During a review of the Land Development Code, it was discovered that Section1.01.10 of the Land Development Code specifically prohibits ex'parte communications. Based upon the standing policy and practice of the city, ex'parte communications have been allowed following the procedures outlined in the statutes. To rectify this inconsistency, staff has prepared an amendment to the Land Development Code to address ex'parte communications, and disclosure procedures.

In response to questions and concerns by Ms. Laurendeau, Mr. Hand stated that the proposed amendment was taken directly from the statutes and allows due process for applicants. He added that, in addition to the Code, public officials would be subject to the ethics laws.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Robert Ryan made a motion to recommend approval of the amendment to the City of Apopka Code of Ordinances, Part III, Land Development Code, Article 1, to adopt provisions to provide access to public officials of the City of Apopka regarding quasijudicial matters; and Linda Laurendeau seconded the motion. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Linda Laurendeau, Jose Molina, and Roger Simpson (7-0). (Vote taken by poll.)

LEGISLATIVE – LAND DEVELOPMENT CODE AMENDMENT - BUILDING HEIGHTS -Chairperson Greene stated this is a request to recommend approval of an amendment to the City of Apopka Code of Ordinances, Part III, Land Development Code, Article 2, Section 2.02.01 to allow building heights in excess of 35 feet when expressly permitted by Special Exception or Planned Unit Development.

<u>Staff Presentation</u>: Mr. Reggentin stated this is a request to recommend approval of an amendment to the City of Apopka Code of Ordinances, Part III, Land Development Code, Article 2, Section 2.02.01 to allow building heights in excess of 35 feet when expressly permitted by Special Exception or Planned Unit Development.

As Community Development staff has been reviewing the Land Development Code in anticipation of the update scheduled to begin in the next few months, one issue was discovered that could adversely affect economic development while the code is in the process of being updated. This issue is related to building height. Currently building height is limited to 35 feet except within the downtown overlay district. The downtown overlay district permits the following maximum building heights: single family residential uses - 35 feet; multi-family uses - 75 feet; and commercial or non-residential uses - 100 feet provided no residential uses or a residential zoning district is located within 200 feet. This distance is measured from property line to property line. Otherwise the maximum building height is 35 feet. This is a very common standard contained in codes from the late 1980's and early 1990's. It was primarily based upon the height that a ladder truck could reach. With the advent of modern building and fire codes, buildings have become much safer in relation to fire hazards.

Currently, in order to construct a building in excess of 35 feet, an applicant must rezone the property to Planning Unit Development (PUD) and go through a time consuming review and approval process. According to Community Development staff, development interests have approached the City to develop office buildings over 35 feet but did not move forward due to the process involved with a PUD application which may take several months. This represents lost opportunity.

To address this, staff is proposing an amendment to the Land Development Code to allow an applicant to request a special exception to height requirements. If building height is the only issue, an applicant can request a special exception and avoid the costly and time consuming PUD process. This will allow an applicant requesting non-residential development over 35 feet to have that issue addressed in an expeditious and straight forward fashion. The review criteria has been developed to avoid potential adverse effects on surrounding properties.

In response to a question by Mr. Foster, Mr. Reggentin stated that he has been with the City for a few months and there have not been any requests for buildings over 35 feet; however, he has been informed by staff that there has been requests in the past.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.



Motion: Linda Laurendeau made a motion to recommend approval of the amendment to the City of Apopka Code of Ordinances, Part III, Land Development Code, Article 2, Section 2.02.01 to allow building heights in excess of 35 feet when expressly permitted by Special Exception or Planned Unit Development; and Jose Molina seconded the motion. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Linda Laurendeau, Jose Molina, and Roger Simpson (7-0). (Vote taken by poll.)

SWEARING-IN - Mr. Hand swore-in staff, the petitioners, and affected parties.

QUASI-JUDICIAL – MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN – EMERSON NORTH TOWNHOMES – Chairperson Greene stated this is a request to recommend approval of the Master Plan/Preliminary Development Plan for Emerson North Townhomes. The owner/applicant is Pulte Group, c/o Doug Hoffman. The engineer is Donald W. McIntosh Associates, Inc., c/o John T. Townsend, P.E. The property is located at 1701 Ocoee Apopka Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. Mr. Ryan stated that he had e-mailed two questions to Mr. Moon, who responded that he would answer them during his presentation.

<u>Staff Presentation</u>: David Moon, AICP, Planning Manager, stated this is a request to recommend this is a request to recommend approval of the Master Plan/Preliminary Development Plan for Emerson North Townhomes. The owner/applicant is Pulte Group, c/o Doug Hoffman. The engineer is Donald W. McIntosh Associates, Inc., c/o John T. Townsend, P.E. The property is located at 1701 Ocoee Apopka Road. The future land use is Mixed-Use (0-15 du/ac) and the zoning is Mixed-EC. The existing use is planted pine and the proposed use is a residential townhome community with 136 units and a future public right-of-way. The tract size is 21.42 +/- acres. 17.1 +/- acres for the residential community and 4.24 +/- acres for the East Harmon Road right-of-way. The density is 7.95 units per acre.

The Emerson North Townhomes Master Plan/Preliminary Development Plan is a two phase project proposing 136 townhome units with 3.12 +/- acres of active and passive recreation and open space within a 17.1 +/- acre site. The Mixed-EC zoning designation requires a minimum of 2.565 acres for parks and open space for this residential community to be owned and maintained by the homeowners' association. All internal roads will be private streets also maintained by the homeowners' association. The project entrances will be gated. The proposed living area for the townhomes is 1,530 sq. ft. which exceeds the 1,350 sq. ft. minimum requirement and the 1,500 sq. ft. aggregate for the Mixed-EC zoning designation.

The minimum setbacks applicable to the project are:

Setback	Min. Standard	
Perimeter	25'	
Front	50'*	
Side	20'*	
Rear	50'*	
*Distance between structures.		

Exterior elevations of all proposed homes must be reviewed by the Community Development Department prior to issuance of a building permit. Exterior home elevations must meet the intent of the City's Development Design Guidelines.

Ingress/egress for the development will be via two access points from Harmon Road. The western access/gate will become available at the time East Harmon Road is extended to the west.

The stormwater management system includes an on-site retention area. Stormwater ponds are located within Tract "B" and Tract "C." The design of the sormwater ponds meets the City's Land Development Code requirements.

The developer is providing over 3.12 acres of active and passive recreation space when only 2.565 acres is required. The applicant is proposing a swimming pool with a cabana (400 +/- sq. ft.) and a tot lot within the active recreational space. Per Section 2.02.20.H.4a of the Land Development Code, developments made up of less than 300 units shall be required to construct a minimum total of 2,000 sq. ft. of facility or facilities for a Neighborhood Activity Center. This facility will be one of the following: meeting halls; recreation facilities such as a gazebo, covered pavilions, etc. The Master Plan/Preliminary Development Plan provides only a 400 sq. ft. cabana which is 1,600 sq. ft. short of the 2,000 sq. ft. required by the Code.

Buffers provided are consistent with the Land Development Code. The planted pine is exempt from the arbor requirements and will be harvested for silviculture purposes.

The following is a summary of the tree replacement program for this project:

Total inches on-site:	15,277
Total number of specimen trees:	2
Total specimen inches retained:	0
Total inches replaced:	1,033
Total inches removed:	1,606
Total inches retained:	1,441
Total inches post development:	2,474

The developer must obtain approval from the Florida Department of Environmental Protection prior to commencing any site construction activity regarding protection and relocation of any identified protected species. A habitat management plan must be submitted with the Final Development Plan.

No development activity, clearing or grading can occur until such time that a concurrency mitigation agreement has been approved by Orange County Public Schools (OCPS).

The County was notified at the time of the land use amendment and rezoning applications for this property. Coordination occurred with County planning staff regarding impact on adjacent parcels. Orange County also receives a copy of the Development Review Committee agenda.

CONDITIONS OF APPROVAL:

- 1. A developer's agreement must be approved by City Council to address the conveyance of land to the City of Apopka for the future Harmon Road right-of-way extension. The right-of-way shall be sufficient to provide a two-lane divided highway with a multi-use trail on the south side of the road.
- 2. A minimum of 2,000 sq. ft. shall be provided in the form of a meeting house, gazebo, covered pavilion, etc., or as allowed by Section 2.02.20.H.4 Neighborhood Activity Center of the Land Development Code.

The Development Review Committee recommends approval of the Emerson North Townhomes Master Plan/Preliminary Development Plan, subject to City Council approval of a Developer's Agreement, the provision of a minimum 2,000 sq. ft. of Neighborhood Activity Center, and subject to the findings in the staff report.

The recommended action is to find the Emerson North Townhomes Master Plan/Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code and recommend approval of the Master Plan/Preliminary Development Plan, subject to City Council approval of a Developer's Agreement, the provision of a minimum 2,000 sq. ft. of Neighborhood Activity Center, and subject to the findings in the staff report.

The role of the Planning Commission for this development application is to advise the City Council to approve, approve with conditions, or deny based on consistency with the Comprehensive Plan and Land Development Code.

Mr. Ryan expressed concerns with the 20 foot front setback and residents not being able to park an oversized vehicle, like an F-150 pickup truck, in front of the garage.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

<u>Petitioner Presentation</u>: Doug Hoffman, Pulte Homes, 4901 Vineland Road, 5th Floor, Orlando, stated that they had built the same type of product in the Dr. Phillips area, Casselberry, and Seminole County. The townhomes will have two to three bedrooms. The living area will range from 1,540 square feet to 1,700 square feet. Each townhome will have at least two parking spaces. He stated that the 20 foot setback is the typical depth for parking space in front of a garage.

In response to questions by Mr. Ryan, Mr. Hoffman stated that half of the townhomes will have two to three bedrooms and noted that the third bedroom could be used as a den or a bedroom. He stated that due to the configuration of the lot, the density is tight. He added that the code requires they provide 34 overflow parking spaces and they are providing 88.

John Townsend, P.E., Donald W. McIntosh Associates, 2200 Park Avenue North, Winter Park, stated that this would be a gated community and the street would be private. He said they are providing the City with an 80 foot right of way to the north of the property for the proposed widening of Harmon Road.

In response to a question by Mr. Ryan, Mr. Moon stated that the configuration of the site is tight; however, between this meeting and the City Council meeting, staff will go back and review the possibility of increasing the front setback.

Mr. Townsend stated that they would be willing to move the sidewalks two feet closer to the street if the City would allow it.

Mr. Moon stated that the City Engineer would have to review that possibility to see what impacts that would have on utilities, drainage, etc.

Affected Party Presentation: None.

Chairperson Greene opened the meeting for public hearing.

Suzanne Sweeney, 246 East 2nd Street, Apopka, expressed her concerns regarding the possibility of people parking on the grass if they did not have enough room in their driveway; the size of the garages and the lack of storage space. She suggested that the developer consider 2 ¹/₂ car garages to accommodate parking and storage.

Mr. Hoffman stated that there are provisions in the homeowner association documents that will address the uses of the garages and the required upkeep of the property.

With no one else wishing to speak, Chairperson $G_1 \xrightarrow{8}$ closed the public hearing.

Mr. Ryan recommended the Commission table this item until staff has a chance to go back and review the front setback.

Mr. Greene stated that was not necessary since the Commission, if they so choose, could make their recommendation to City Council to require an increase in the front setback to accommodate larger vehicles. Then it would be City Council's decision as to whether to approve the project with that condition.

Motion: Chairman Green made a motion to find the Emerson North Townhomes Master Plan/ Preliminary Development Plan is consistent with the Comprehensive Plan and Land Development Code; to recommend approval of the Emerson North Townhomes Master Plan/Preliminary Development Plan subject to: City Council approval of a Developer's Agreement; the provision of a minimum 2,000 sq. ft. of Neighborhood Activity Center; and subject to the findings in the staff report for the property owned by Pulte Group, c/o Doug Hoffman and located at 1701 Ocoee Apopka Road.

Motion died due to lack of a second.

Motion: Tony Foster made a motion to find the Emerson North Townhomes Master Plan/ Preliminary Development Plan is consistent with the Comprehensive Plan and Land Development Code; to recommend approval of the Emerson North Townhomes Master Plan/Preliminary Development Plan subject to: City Council approval of a Developer's Agreement; the provision of a minimum 2,000 sq. ft. of Neighborhood Activity Center; and the condition for the provision of a 22 foot front setback to accommodate parking of large vehicles, such as F-150s, in the driveways; and subject to the findings in the staff report for the property owned by Pulte Group, c/o Doug Hoffman and located at 1701 Ocoee Apopka Road. The motion was seconded by Linda Laurendewau. Aye votes were cast by James Greene, Robert Ryan, Melvin Birdsong, Tony Foster, Linda Laurendeau, Jose Molina, and Roger Simpson (7-0). (Vote taken by poll.)

OLD BUSINESS: None.

NEW BUSINESS: Mr. Foster assured Ms. Sweeney that the homeowners association would be responsible for the upkeep of the property.

ADJOURNMENT: The meeting was adjourned at 6:24 p.m.

James Greene, Chairperson

Mark Reggentin, AICP Community Development Director

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Backup material for agenda item:

1. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Owned by Equity Waters Edge, LLC, c/o David Shapiro, from "County" Rural (1 du/10 ac) to "City" Mixed Use, for property located at 1850 South Binion Road. (Parcel ID #: 19-21-28-0000-00-011)



CITY OF APOPKA PLANNING COMMISSION

X PUBLIC HEARING ANNEXATION PLAT APPROVAL OTHER:			DATE: FROM: EXHIBITS:	September 13, 2016 Community Development Land Use Report Vicinity Map Adjacent Zoning Map Adjacent Uses Map Existing Uses
SUBJECT:		ENSIVE PLAN – S NT – EQUITY WATI		LE – FUTURE LAND USE LC
PARCEL ID NUMBER:	19-21-28-000	00-00-011		
<u>Request</u> :	COMPREH AMENDME FROM: TO:		L (1 DU/ 10 A	JE - FUTURE LAND USE C)
SUMMARY				
OWNER/APPLICANT:	Equit	y Waters Edge, LLC –	David Shapiro	
LOCATION:	1850	S. Binion Road		
EXISTING USE:	Vacar	nt Land		
CURRENT ZONING:	"Cou	nty" A-1		
PROPOSED DEVELOPME	<i>J</i>	has received a Prelim ential development.	inary Develop	ment Plan for a single family
PROPOSED ZONING:	amen	dment request is being ng Map designation fro	processed alor	this Future Land Use Map og with a request to change the 1 to "City" Mixed-EC [Mixed
TRACT SIZE:	5.6 +/	/- acres		
MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT:	EXIS	TING: Vacant; 1 dwo POSED: Employment		
DISTRIBUTION Mayor Kilsheimer Commissioners (4) City Administrator Irby Community Dev. Director		Finance Direc HR Director IT Director Police Chief	ctor	Public Ser. Director City Clerk Fire Chief

G:\CommDev\PLANNING ZONING\SMALL SCALE FLU AMENDS\2016\Equity Waters Edge, LLC

ADDITIONAL COMMENTS: Presently, the subject property has not yet been assigned a "City" Future Land Use Designation or a "City" zoning category. Applicant is requesting the City to assign a future land use designation of Mixed Use to the property.

The subject property has been annexed into the City of Apopka. The annexation occurred on June 5, 2013, through the adoption of Ordinance No. 2303. The proposed Small-Scale Future Land Use Amendment is being requested by the owner/applicant. Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign a Future Land Use Designation of Mixed Use is compatible with the designations assigned to abutting properties. The FLUM application covers approximately 5.6 acres.

The parcel owner – Equity Waters Edge, LLC – also owns abutting parcels to the south, combining these for a future development site of approximately 75 acres. A Preliminary Development Plan is under review by the City's Development Review Committee for a single family residential community.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report).

<u>COMPREHENSIVE PLAN COMPLIANCE</u>: The proposed use of the property is consistent with the Mixed Use Future Land Use designation and the City's proposed Mixed Use Zoning. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: No more than nine residential homes will be constructed on the 5.6 acre site. Pursuant to the School Planning Agreement, nine or less residential units is considered a deminimus impact on schools. Therefore, this 5.6 acre site is exempt from School Capacity Enhancement review. However, school concurrency review will occur at the time of a preliminary or final development plan.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on August 12, 2016.

PUBLIC HEARING SCHEDULE:

September 13, 2016 - Planning Commission (5:30 pm) October 5, 2016 - City Council (1:30 pm) - 1st Reading October 19, 2016 - City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

August 26, 2016 – Public Notice and Notification October 8, 2016 – ¹/₄ Page w/Map Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in Future Land Use from "County" Rural (1 du/ 10 ac) to "City" Mixed Use for the property owned by Equity Waters Edge, LLC and located at 1850 S. Binion Road.

Recommend to amend the Future Land Use Map designation from "County" Rural to "City" Mixed Use.

Note: This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (City)	Mixed Use	Mixed-EC	Green House
East (City)	Mixed Use	A-1(ZIP)	Vacant \Binion Road
South (City)	Mixed Use	Mixed-EC	Vacant
West (County)	Rural/Agricultural (1 du/ 10 ac)	A-2	SJRWMD\conservation

II. LAND USE ANALYSIS

The general character of the area surrounding the subject property is compatible with the development of mixed uses. The subject property fronts and is accessed by a local roadway (S. Binion Rd.) and has access to Harmon Rd.

Wekiva River Protection Area: <u>No</u> Area of Critical State Concern: <u>No</u> DRI / FQD: <u>No</u>

<u>JPA</u>: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is not located within "Core Area" of the JPA.

<u>Redevelopment</u>: Policy 3.13. No non-conforming structure shall be substantially expanded.

<u>Wekiva Parkway and Protection Act</u>: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

<u>Karst Features:</u> The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

<u>Analysis of the character of the Property</u>: The property fronts S. Binion Rd. The vegetative communities present are urban; the soils present are Candler fine sand, Canova sand, and Tavares sand; and no wetlands occur on the site, and the terrain has a 0-12 percent slope.

The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.r. Mixed-Use Future Land Use designation.

<u>Analysis of the relationship of the amendment to the population projections</u>: The proposed future land use designation for the Property is Mixed Use. Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population_____

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CALCULATIONS:

ADOPTED (County designation): 1 Unit(s) x 2.659 p/h = 2.659 personsPROPOSED (City designation): 15 Unit(s) x 2.659 p/h = 223 persons

Housing Needs: This amendment may negatively impact the housing needs as projected in the Comprehensive Plan.

<u>Habitat for species listed as endangered, threatened or of special concern</u>: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

<u>Transportation</u>: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

<u>Potable Water, Reclaimed Water & Sanitary Sewer Analysis</u>: The subject property is located within the City of Apopka Utilities service area for potable water, reclaimed water and sanitary service.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: <u>None</u>; <u>81</u> GPD/Capita; <u>81</u> GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

- 2. Projected total demand under existing designation: <u>196 GPD</u>
- 3. Projected total demand under proposed designation: <u>53,054</u> GPD
- 4. Capacity available: <u>Yes</u>
- 5. Projected LOS under existing designation: <u>81</u> GPD/Capita
- 6. Projected LOS under proposed designation: <u>81</u> GPD/Capita
- 7. Improved/expansions already programmed or needed as a result if proposed amendment: <u>None</u>

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: <u>City of Apopka ; 177 GPD/Capita;</u> <u>177 GPD/Capita</u>

If the site is not currently served, please indicate the designated service provider: <u>City of Apopka</u>

- 2. Projected total demand under existing designation: <u>210 GPD</u>
- 3. Projected total demand under proposed designation: <u>66,427</u> GPD
- 4. Capacity available: <u>Yes</u>
- 5. Projected LOS under existing designation: <u>177</u> GPD/Capita
- 6. Projected LOS under proposed designation: <u>177</u>GPD/Capita
- 7. Improved/expansions already programmed or needed as a result of the proposed amendment: <u>None</u>
- 8. Parcel located within the reclaimed water service area: <u>Yes</u>

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Solid Waste

- 1. Facilities serving the site: <u>None</u>
- 2. If the site is not currently served, please indicate the designated service provider: <u>City of Apopka</u>
- 3. Projected LOS under existing designation: <u>12</u>lbs./person/day
- 4. Projected LOS under proposed designation: <u>1380</u> lbs./day/1000 sf
- 5. Improved/expansions already programmed or needed as a result of the proposed amendment: <u>None</u>

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number:CUP No. 3217

Permitting agency: <u>St. John's River Water Management District</u>

Permitted capacity of the water treatment plant(s): <u>21.981</u> GPD

Total design capacity of the water treatment plant(s): <u>33.696 GPD</u>

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

- 1. Facilities serving the site: <u>None</u>
- 2. Projected LOS under existing designation: <u>100 year 25 hour design storm</u>
- 3. Projected LOS under proposed designation: <u>100 year 25 hour design storm</u>
- 4. Improvement/expansion: <u>On-site retention/detention pond</u>

Recreation

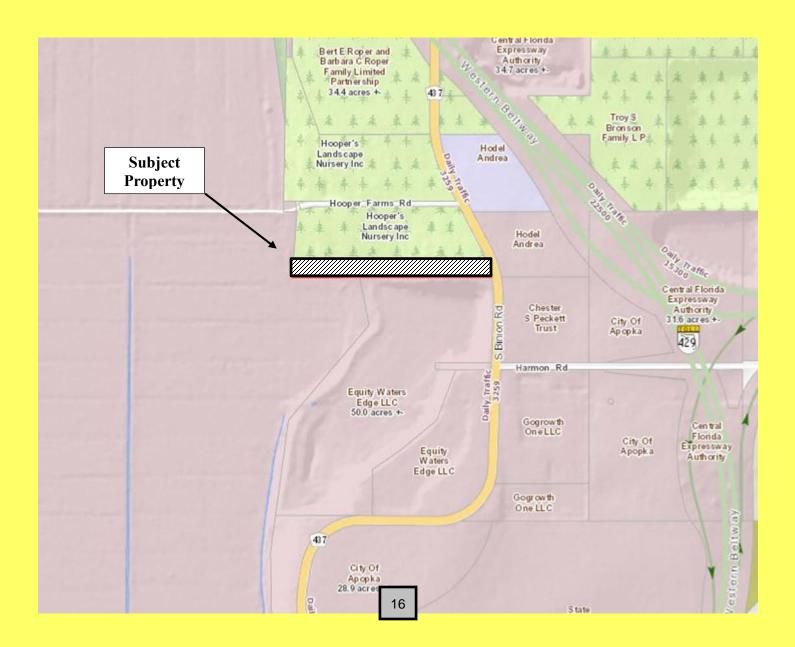
- 1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
- 2. Projected facility under existing designation: <u>0.009</u> AC
- 3. Projected facility under proposed designation: <u>0.669</u> AC
- 4. Improvement/expansions already programmed or needed as a result of the proposed amendment: <u>None</u>

This initial review does not preclude conformance with concurrency requirements at the time of development approval.



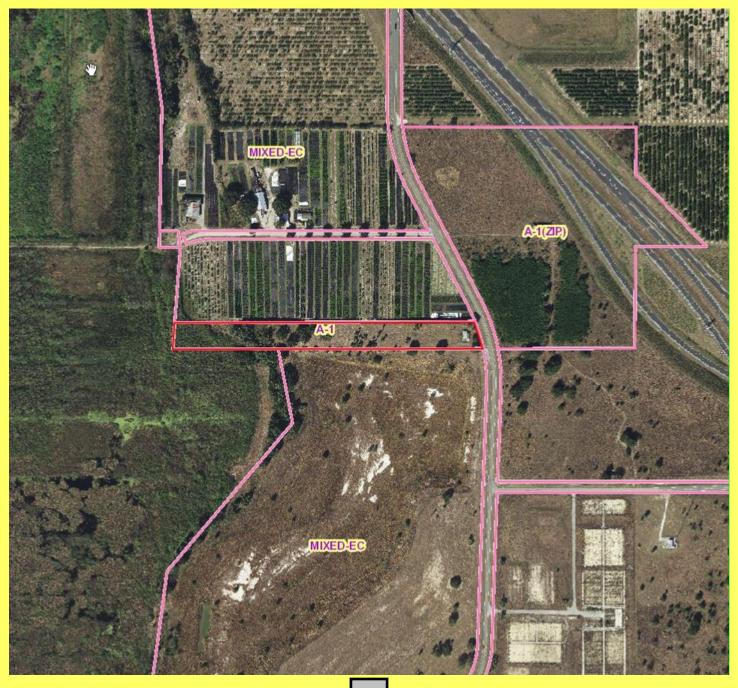
EQUITY WATERS EDGE, LLC 1850 S. Binion Rd. 5.6 +/- acres Existing Maximum Allowable Development: 1 dwelling unit/ac Proposed Maximum Allowable Development: 15 dwelling unit/ac Proposed Small Scale Future Land Use Change From: "County" Rural/Agricultural (1 du/10 ac) To: "City" Mixed Use Proposed Zoning Change From: "County"A-1 To: "City" Mixed-EC Parcel ID #: 19-21-28-0000-00-011

VICINITY MAP





ADJACENT ZONING



17



ADJACENT USES





EXISTING USES



Backup material for agenda item:

2. CHANGE OF ZONING – Owned by Equity Waters Edge, LLC, c/o David Shapiro, from "County" A-1 (Rural) to "City" Mixed-EC (Mixed Use), for property located at 1850 South Binion Road. (Parcel ID #: 19-21-28-0000-00-011)



CITY OF APOPKA PLANNING COMMISSION

X PUBLIC HEARING ANNEXATION PLAT APPROVAL OTHER:	DATE: September 13, 2016 FROM: Community Development EXHIBITS: Land Use Report Vicinity Map Adjacent Zoning Map Adjacent Uses Map Existing Uses Small Area Study Map
SUBJECT:	EQUITY WATERS EDGE, LLC – CHANGE OF ZONING
PARCEL ID NUMBER:	19-21-28-0000-00-011
<u>Request</u> :	CHANGE OF ZONING FROM: "COUNTY" A-1 (RURAL) TO: "CITY" MIXED EC (MIXED USE)
<u>SUMMARY</u>	
OWNER/APPLICANT:	Equity Waters Edge, LLC – David Shapiro
LOCATION:	1850 S. Binion Road
EXISTING USE:	Vacant Land
PROPOSED FLUM DESIGNATION:	Mixed Use (NOTE: This change of zoning application is being processed in conjunction with a small scale FLUM amendment requesting Mixed Use.)
CURRENT ZONING:	"County" A-1 (ZIP)
PROPOSED DEVELOPMENT:	City has received a Preliminary Development Plan for a single family residential development.
TRACT SIZE:	5.6 +/- acres
MAXIMUM ALLOWABLE DEVELOPMENT:	EXISTING: vacant; 1 dwelling unit per 10 acres PROPOSED: single family residential development consistent with the Mixed- EC zoning district

DISTRIBUTION Mayor Kilsheimer

Mayor Kilsheimer Commissioners (4) City Administrator Irby Community Dev. Director Finance Director HR Director IT Director Police Chief Vaters Edge, I 21 Public Ser. Director City Clerk Fire Chief Recreation Director

ADDITIONAL COMMENTS: Presently, the subject property has not yet been assigned a "City" Future Land Use Designation or a "City" zoning category. Applicant is requesting the City to assign a future land use designation of Mixed Use to the property.

Applicant is requesting the City to assign a zoning classification of Mixed-EC (Mixed Use) to the property, consistent with the proposed Mixed Use future land use designation.

A request to assign a change of zoning to Mixed-EC (Mixed Use) is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The property owner is requesting the Mixed-EC (Mixed Use) zoning classification to accommodate the use of the property to have the potential to be single family residential. The subject property abuts nurseries along S. Binion Rd. that have a zoning of Mixed-EC. City staff supports this change of zoning request due to the Ocoee Apopka Road Small Area Study results. This change of zoning application is being processed in conjunction with a small scale future land use amendment for Mixed Use. The proposed use is consistent with the proposed future land use, proposed zoning district and compatible with the general character of surrounding zoning and uses.

The change of zoning application covers approximately 5.6 acres.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Zoning Report).

<u>**COMPREHENSIVE PLAN COMPLIANCE**</u>: The proposed use of the property is consistent with the Mixed Use Future Land Use designation and the City's proposed Mixed Use Zoning. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: No more than nine residential homes will be constructed on the 5.6 acre site. Pursuant to the School Planning Agreement, nine or less residential units is considered a deminimus impact on schools. Therefore, this 5.6 acre site is exempt from School Capacity Enhancement review. However, school concurrency review will occur at the time of a preliminary or final development plan.

<u>ORANGE COUNTY NOTIFICATION</u>: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on August 12, 2016.

PUBLIC HEARING SCHEDULE:

September 13, 2016 - Planning Commission (5:30 pm) October 5, 2016 - City Council (1:30 pm) - 1st Reading October 19, 2016 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

August 26, 2016 – Public Notice and Notification October 8, 2016 – ¹/₄ Page w/Map Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in zoning from County A-1(Agriculture) to Mixed-EC (Mixed Use) for the property owned by Equity Waters Edge, LLC.

Recommended Motion: Find the change of zoning to Mixed-EC (Mixed Use) consistent with the Comprehensive Plan and Land Development Code and recommend adoption subject to adoption of the Proposed Future Land Use Designation.

Note: This item is considered Quasi-Judicial. The report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (City)	Mixed Use	Mixed-EC	Green House
East (City)	Mixed Use	A-1(ZIP)	Vacant
South (City)	Mixed Use	Mixed-EC	Vacant\same property owner
West (County)	Rural/Agricultural (1 du/ 10 ac)	A-2	SJRWMD property\conservation

LAND USE & TRAFFIC

COMPATIBILITY:

The subject property fronts and is accessed by a local roadway (S. Binion Rd.) and has access to Harmon Rd.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed Mixed-EC (Mixed Use) zoning is consistent with the City's Mixed Use (15 DU/AC) Future Land Use designation and with the character of the surrounding area. The Mixed-EC (Mixed Use) zoning classification is one of the acceptable zoning categories allowed within the proposed Mixed Use Future Land Use Designation. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

MIXED USE-EC DISTRICT REQUIREMENTS:

Floor Area Ratio (%):	25 min. 100 max.
Minimum Site Area	:	Not applicable
Minimum Lot Widtl	1	Varies; based on master plan
Setbacks:	Front:	15 ft. (From property line)
	Rear:	10 ft.
	Side:	0 ft.
	Corner	10 ft.

Based on the above zoning standards, the subject parcel does meet code requirements for the Mixed-EC (Mixed Use) district.

BUFFERYARD REQUIREMENTS:

Buffer yards shall be consistent with the zoning district for the proposed use, unless otherwise noted in the Mixed-EC zoning district standards. For example, singlefamily developments shall follow the buffer requirements of the single-family zoning districts, commercial uses shall follow the buffering of the applicable commercial zoning district, etc. Buffers may be waived or varied in mixed-use buildings and projects when compatible uses and appropriate building/parking relationships are demonstrated and strong pedestrian connectivity and well-planned vehicular connectivity are provided.

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ALLOWABLE USES:

Single-Family detached residential development; duplex; multi-family residential; commercial, office, industrial, and institutional uses subject to the intensities, development standards, and land use mix criteria set forth of the Mixed-EC zoning district.



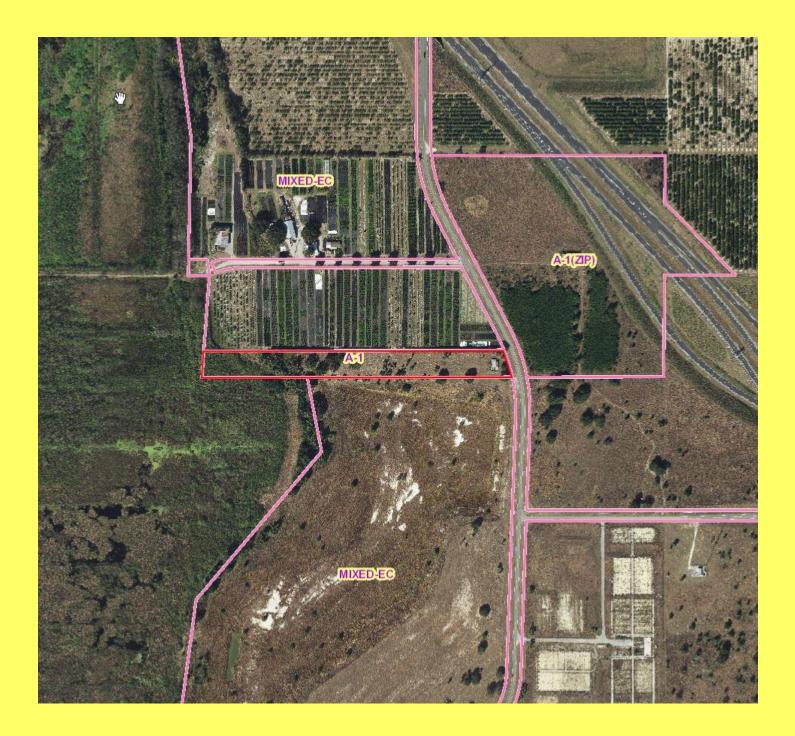
EQUITY WATERS EDGE, LLC Property Owner 5.6 +/- acres Proposed Small Scale Future Land Use Amendment: From: "County" Rural/Agricultural (1 du/10 ac) To: "City" Mixed Use Proposed Change of Zoning: From: "County"A-1 To: "City" Mixed-EC Parcel ID #s: 19-21-28-0000-00-011

VICINITY MAP



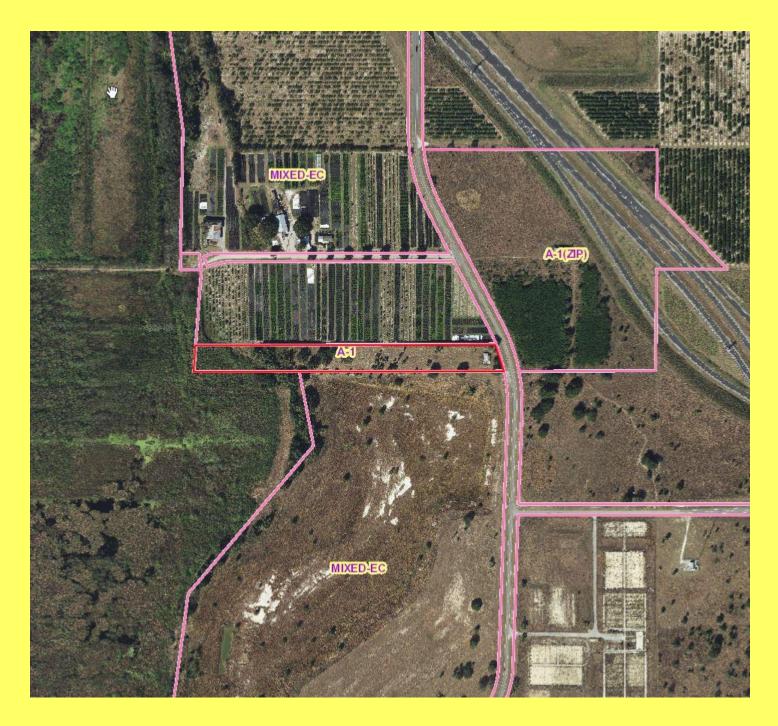


ADJACENT ZONING





ADJACENT USES



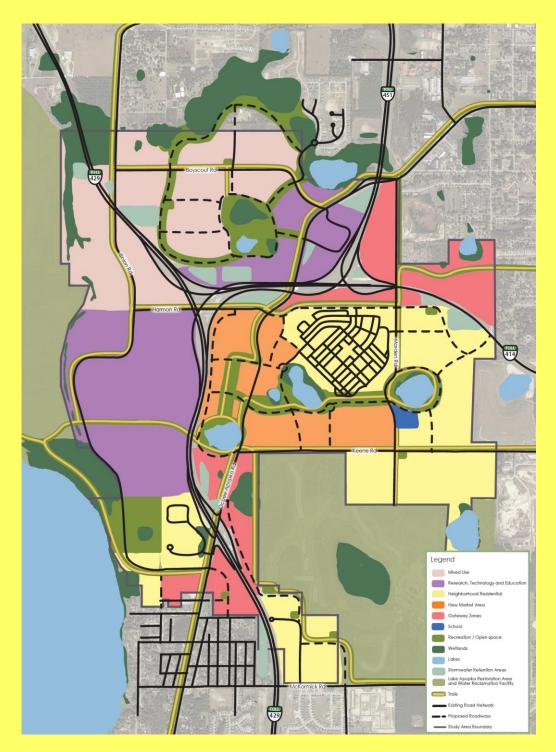


EXISTING USES





OCOEE APOPKA ROAD SMALL AREA STUDY CONCEPTUAL LAND USE MAP



Page 30

Backup material for agenda item:

3. MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN AMENDMENT – Robert K. Dunn, Et. Al., for property located north of Old Dixie Highway, east of Richard L. Mark Drive, and south of Errol Parkway. (Parcel ID #s: 05-21-28-0000-00-019, 05-21-28-0000-00-034, 05-21-28-0000-00-035 & 05-21-28-0000-00-041)



CITY OF APOPKA PLANNING COMMISSION

X PUBLIC HEARING ANNEXATION PLAT APPROVAL OTHER:	DATE: September 13, 2016 FROM: Community Development EXHIBITS: Land Use Report Vicinity Map Adjacent Zoning and Uses Maps Amended Master Site Plan\PDP Amended Building Elevations Current Approved Master Plan\PDP Ordinance 2355\Approved PUD
<u>SUBJECT</u> :	AMMENDMENT TO DUNN\DIXIE MANOR PUD ZONING AND ASSISTED LIVING FACILITY PUD MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN
PARCEL ID NUMBERS:	05-21-28-0000-00-019, 05-21-28-0000-00-034, 05-21-28-0000-00-035, AND 05-21- 28-0000-00-041
<u>Requests</u> :	1. AMENDMENT TO THE DUNN\DIXIE MANOR PUD ZONING AND ASSISTED LIVING FACILITY PUD MASTER PLAN\PRELIMINARY DEVELOPMENT PLAN TO INCREASE MAXIMUM FLOOR AREA RATIO FROM 0.25 TO 0.30.
	2. RECOMMEND APPROVAL OF THE MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN
SUMMARY	
OWNER\APPLICANT:	Robert K. Dunn, et al
ENGINEER:	Haskell Company
LOCATION:	North of Old Dixie Highway, east of Richard L. Mark Drive, and south of Errol Parkway
EXISTING USE:	Vacant Land
CURRENT ZONING:	PUD
PROPOSED DEVELOPME	NT: Assisted Living Facility (ALF) with maximum 125-bed facility within a two and one story building with a maximum floor area ratio of .030
PROPOSED AMENDMENT	Γ: Increase maximum floor area ratio from 0.25 to 0.30.
TRACT SIZE:	6.99 +/- acres
MAXIMUM ALLOWABLE DEVELOPMENT:	Current: 76,121 Proposed: 91,345

DISTRIBUTION

Mayor Kilsheimer Commissioners (4) City Administrator Irby Community Dev. Director

Finance Director HR Director IT Director Police C 31 Public Ser. Director City Clerk Fire Chief Recreation Director

PLANNING COMMISSION – SEPTEMBER 13, 2016 **ROBERT K. DUNN, ET AL – PUD ZONING/MASTER PLAN AMENDMENT** PAGE 2

ADDITIONAL COMMENTS: On April 14, 2014 through Ordinance 2355, City Council adopted a Planned Unit Development zoning and a Master Plan/Preliminary Development Plan for the Robert K. Dunn et.al. property. The PUD master plan establishes a maximum floor area ratio of 0.25, which allows for building (s) with a maximum floor area of 76,121 square feet, for a proposed Assisted Living Facility (ALF) with up to 125 beds. A proposed ALF is similar to uses allowed with the Professional Office/Institutional zoning district, which allows a maximum floor area ratio of 0.30 for buildings. The original building proposed for the applicant was only 76,000 sq. ft., which represents a floor area ratio of 0.25 for this property. Thus, the applicant requested a 0.25 FAR instead of a 0.30 floor area ratio allowed by the Professional Office\Institutional zoning district. The building proposed by the applicant, as presented in architectural renderings and within the proposed Master Plan, contains approximately 87,000 sq. ft. floor area. Although the proposed building has more floor area than the previously approved Master Plan, the maximum number of beds – 125 beds – does not change. All the other development standards approved within the current PUD zoning and Master Plan\Preliminary Development Plan remain the same.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Zoning Report).

<u>COMPREHENSIVE PLAN COMPLIANCE</u>: Planning staff finds the proposed amendment to the Planned Unit Development to be consistent with the Comprehensive Plan and Land Development Code.

SCHOOL CAPACITY REPORT: The amendment to the Planned Unit Development will not impact capacity at affected public schools. If the property owner proposes residential development, then school capacity review will be required as part of the PUD amendment application.

ORANGE COUNTY NOTIFICATION: The property is surrounded by properties that are within the City limits of Apopka; therefore the notice requirements in the JPA do not apply.

<u>PUBLIC HEARING SCHEDULE</u>: September 13, 2016 – Planning Commission (5:01 pm) September 21, 2016 – City Council (7:00 pm) - 1st Reading October 5, 2016 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

August 26, 2016 – Public Notice and Notification September 13, 2016 – Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment to the Dunn\Dixie Manor PUD zoning and Master Plan Preliminary Development Plan to be consistent with the Comprehensive Plan and Land Development Code recommends approval of the amendment to the Planned Unit Development zoning and Master Plan/Preliminary Development Plan.

Recommended Motion: Recommend to finds the proposed amendment to the Dunn\Dixie Manor PUD zoning and Master Plan/Preliminary Development Plan to be consistent with the Comprehensive Plan and Land Development Code recommends approval of the amendment to the Planned Unit Development zoning and Master Plan/Preliminary Development Plan.

Planning Commission Role: Recommend to approve, deny, or approve with conditions.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting. Role of the Planning Commission in this case is advisory to the City Council.

ZONING REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (City)	Residential Low (0-5 du/ac)	PUD	Parkside at Errol, Ph. 3
East (City)	Residential Low (0-5 du/ac)	PUD	Parkside at Errol, Ph. 3
South (City)	Commercial	C-1	Lowes Home Retail Center
West (City)	Parks/Recreation\Residential Low (0-5 du/ac)	PR/PUD	Vacant wooded parcel; Villa Capri
North (City)	Residential Low (0-5 du/ac)	PUD	Parkside at Errol, Ph. 3

LAND USE & TRAFFIC COMPATIBILITY:

- South: Old Dixie Highway, a two-lane collector road, lies to the south of the subject property and the Lowes Home Retail Center. The land south of Old Dixie Highway is assigned a Commercial future land use designation and a zoning category of C-1.
- West: Across Richard L. Mark Drive is a 1.4 acre heavily wooded parcel covered by oak trees. This parcel is owned by the City of Apopka and assigned a Park\Recreation future land use and zoning category that serves as open space. At the northwest corner of the subject property is the Villa Capri residential community. Villa Capri is assigned PUD zoning as part of the Errol Estate community. The typical lot is 51 feet wide with a typical area of about 5,700 sq. ft. Along the east side of Villa Capri is a ten-foot wide five to six foot high masonry wall. The right-of-way for Richard L. Marks Drive is 100 foot wide with landscaping and mature oak trees bordering the road. There is a twenty (20) foot wide landscaped median that contains mature oak trees.
- North: To the north of the subject property, a 1.76 acre retention pond separates the subject property from most of the residential homes to the north within the Parkside at Errol Phase 3 residential subdivision. With the exception of one single family lot at the subject property's northwest corner and one single family lot at the northeast corner. Residential lots to the north range from 300 feet to zero feet from the subject property. Lots typically are 80 to 85 feet wide with a typical lot size ranging from 9,200 sq. ft.
- East: There is a ten foot wide landscape buffer that runs along the eastern parcel line of the subject property that is adjacent to residential lots within another section of Parkside at Errol Phase 3. Single family lots adjacent to the eastern side of the subject property have typical lots with a 75 foot minimum width and a lot size ranging from 9,200 sq. ft. to 11,000 sq. ft.
- Summary: The property owner requests assignment of a zoning category that is consistent with the proposed Residential Medium Future Land Use Designation. Planning staff finds the zoning category to be consistent a Residential Low-Medium Future Land Use Designation subject to the PUD master site plan/preliminary development plan and the recommended PUD development standards.

PLANNING COMMISSION – SEPTEMBER 13, 2016 ROBERT K. DUNN, ET AL – PUD ZONING/MASTER PLAN AMENDMENT PAGE 4

COMPREHENSIVE
PLAN COMPLIANCE:The proposed Planned Unit Development (PUD/R-3) zoning is not consistent with
the City's Residential Medium (0-10 du/ac) Future Land Use designation.
However, Planning staff finds the proposed zoning to be compatible with a Low-
Medium (0-7.5 du/ac) Future Land Use designation. Development Plans shall not
exceed the intensity or density allowed for the adopted Future Land Use
Designation.PUD
RECOMMENDATIONS:The PUD recommendation is to assign a zoning classification of Planned Unit
Development (PUD) for the described subject property with the following Master

A. The uses permitted within the PUD district shall be:

Plan provisions is subject to the following zoning provisions:

- 1. A maximum of one-hundred twenty-five Assisted Living Facility (ALF) beds or 38 permanent residential. For any Assisted Living Facility, such use shall meet the State of Florida definition for an Assisted Living Facility, at least eight (80) percent of the beds shall be occupied by those age 55 of over, and the ALF shall follow a policy that demonstrates an intent to provide residential care for those aged 55 or older. A nursing home, group home facility, foster home, drug or alcohol detox center or rehabilitation center or similar emergency shelter are not permissible uses under this PUD zoning ordinance unless as otherwise superseded by Florida Statutes.
- 2. Any building other than single family residential shall be setback a minimum of one hundred (100) feet from the northern and eastern property line, units and fifty (50) feet from the western property line.
- 3. Outdoor storage shall not be allowed.
- 4. No recreation or similar outdoor activities (walking path, gathering places etc.) shall occur within twenty (20) feet of the property line excepting any public sidewalk along Old Dixie Highway.
- 5. No outdoor activities shall occur after 9:00 PM or before 7:00 AM. Delivery services for shall be limited to similar hours.
- 6. Regular visitor hours shall be limited to no earlier than 7:00 AM and not later than 11:00 PM except for emergency purposes.
- 7. Any use or activity allowed within the R-3 residential zoning category exception as otherwise noted herein. Duplex residential units shall not be allowed.
- B. Development Standards:
 - 1. Development standards and setbacks shall comply with those established for the R-3 zoning category unless otherwise approved herein or within the Master Site Plan.
 - 2. Maximum number of stories: two (2)

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- 3. A thirty (30) foot landscape buffer shall occur along the northern and eastern property lines, and a fifteen (15) foot landscape buffer along the western property line.
- 4. Monument sign (identification sign) shall be limited to no more than 24 square feet and no electronic reader board will be allowed. The monument sign may be placed within the front yard along Old Dixie Highway near the site driveway entrance. No signage shall be allowed along Richard L. Mark Drive. No wall sign or other signage will be allowed except for on-site directional signage, unless otherwise allowed by the City's sign codes for special event or grand opening.
- 5. No outdoor illumination shall spillover into residential areas.
- 6. All trees and landscaping within the perimeter buffers shall be allowed to grow and will be maintained to a height to screen the ALF building from adjacent residential areas.
- 7. Architectural design of the building shall be generally consistent with that approved with the PUD ordinance unless otherwise approved by the City Council.
- 8. Changes to the Master Site Plan/Preliminary Development Plan or architectural design considered to be insignificant may be approved by the Community Development Director.
- 9. Employee parking shall occur at the southwest parking area and visitor parking directed to the southeast parking area. On-site direction signage shall be posted to direct visitor parking as such.
- 10. Driveway access to Richard L. Mark Drive will not be allowed.
- C. The Master Plan Site/Preliminary Development Plan is hereby approved and is part of the PUD zoning ordinance.
- D. The R-3 zoning standards shall apply to the development of the subject property unless as otherwise addressed within the PUD ordinance.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed City PUD zoning is not consistent with the City's Residential Medium (0-10 du/ac) Future Land Use designation. However, DRC finds that the proposed PUD zoning is consistent with the residential Low-Medium (0-7.5 un/ac) Future Land Use designation. Development Plans shall not exceed the density and intensity allowed in the adopted Future Land Use Designation.

PLANNING COMMISSION – SEPTEMBER 13, 2016 ROBERT K. DUNN, ET AL – PUD ZONING/MASTER PLAN AMENDMENT PAGE 6

> Robert K. Dunn et al 6.98 +/- Acres Existing Maximum Allowable Development: .25 FAR Proposed Maximum Allowable Development: .30 FAR Request: Amendment to an Existing PUD Master Plan Parcel ID #s: 05-21-28-0000-00-019, 05-21-28-0000-00-034, 05-21-28-0000-00-035, 05-21-28-0000-00-041

VICINITY MAP

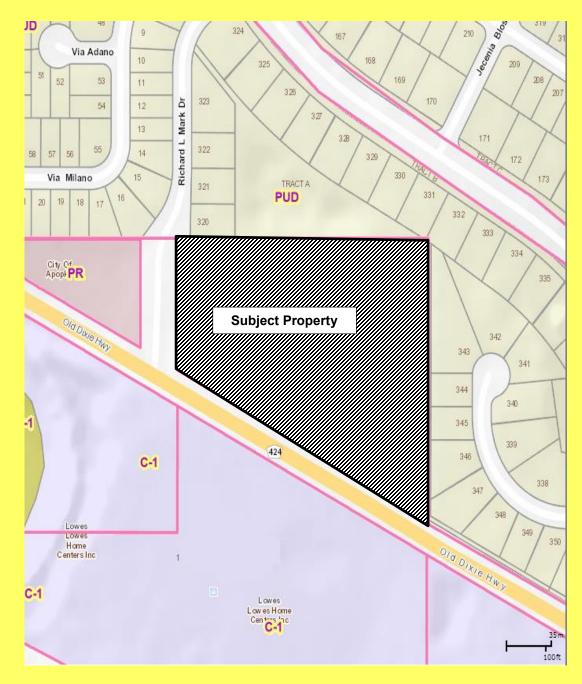




PLANNING COMMISSION – SEPTEMBER 13, 2016 ROBERT K. DUNN, ET AL – PUD ZONING/MASTER PLAN AMENDMENT PAGE 7

ADJACENT ZONING





PLANNING COMMISSION – SEPTEMBER 13, 2016 ROBERT K. DUNN, ET AL – PUD ZONING/MASTER PLAN AMENDMENT PAGE 8



ADJACENT USES



	CIVIL ENGINEERIN	GELGEND
EXISTING	PROPOSED	DESCRIPTION
		PROPERTY/RIGHT-OF-WAY LINE
		CENTERLINE
		SECTION, TOWNSHIP, RANGE LINE
		FENCE
	-xxxx	EROSION CONTROL FENCE
		RETAINING WALL
		BUILDING
		PAVEMENT/SIDEWALK/CUR8 LINE
25.50	(259)	SPOT ELEVATIONS
25	- 25	CONTOURS
SA	SA	SANITARY SEWER ICLEAN OUT
ST	st	STORM SEWER
#	w	DOMESTIC WATER
F	F	FIRE MAIN
G	G	GAS MAIN
FM	FM	FORCE MAIN
UF	UE	UNDERGROUND ELECTRIC
DHE	OHE	OVERHEAD ELECTRIC
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01	or	OVERHEAD TELEPHONE
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		MANHOLE
0		WATER METER
-0		PHONE/POWER/LIGHT POLE
- Ö		INLET
12		MITERED END
710	70	FLUME
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		SECTION CUT
	120	DETAIL REFERENCE

Aug

PARCEL ID NUMBER

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PARCEL ID NUMBER

FUTURE LAND USE

BUILDING HEIGHT

1ST FLOOR AREA

2ND FLOOR AREA

OPEN SPACE AREA

OPEN SPACE RATIO

BUILDING FOOTPRINT

TOTAL IMPERVIOUS

BUILDING SETBACKS PARKING SPACES

TOTAL PERVIOUS

NUMBER OF BEDS NUMBER OF EMPLOYEES

WAIVER REQUEST

VARIANCE REQUEST

SITE ACREAGE/SQ. FOOTAGE

OVERALL BUILDING AREA CALCULATED FLOOR AREA RATIO

ALLOWABLE FLOOR AREA RATIO

MAXIMUM GROSS BUILDING AREA

PAVEMENT, CURB, AND SIDEWALK

PROPOSED USE

ZONING

42000201 (2016) AMENDED MASTER PLAN/PRELIMINAL FOR CANTERWOOD MANOR AT (FORMERLY DIXIE MANOR AT ERF CITY OF APOPKA, FLOF



LOCATION MAP

AUG. 9 0 2018

RY DEVELOPMENT	PLAN	SHEET INDEXC-001COVER SHEETC-100MASTER SITE PLANL-110LANDSCAPE PLANL-511LANDSCAPE DETAILSA1101ST FLOORA1202ND FLOORA200ELEVATIONS	Chord Contraction of the second	P.A.	III. I Therride Survey actsonville. Toride, about Phone # (004grs) 4000
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	(\square)	APOPKA, FLORIDA 32712 PHONE: (407) 579-1817		and E	
and the state	\cup	DEVELOPER		S ar	
		MUM ASSOCIATES, LLC 1030 N. CRANGE AVENUE SUITE 200		ARCHITECTS IDA - Architecture # AA2	X
		ORLANDO, FLORIDA 32801 PHONE: (407) 233-3514		nitectu	S
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		HASKELL ARCHITECTS AND ENGINEERS, P.A 111 RIVERSIDE AVENUE JACKSOWILLE, FLORIDA 32212. PHONE: 904-7191-4500			I
136	GENERAL NOTES.			HASKELL	A
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$\mathcal{V} \times \mathcal{X}$	2 FACILITY SHALL COUNTY OR C	CONFORM TO ALL APPLICABLE BUILDING STATUTES, CODES OR ORDIN TTY.	IANCES, WHETHER FEDERAL, STATE.	-	·
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		S ALONG OLD DIVIE HIGHWAY AND INTERNAL SHALL MEET ADA REQUIRI		AOR	OO .
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		NT LIGHT SPILLOVER INTO RESIDENTIAL AREAS AND LIMIT LUMENS TO In Shall not exceed 6 feet in height with a maximum cop area (MOOK	× I
	10 ELECTRONIC R	EADER BOARD IS NOT ALLOWED AS PART OF THE MONUMENT SIGN.			JN
	WITHIN THREE THE PLANNED YEARS LAPSE	ELOPHIDIT PLAN ASSOCIATED WITH THE PUD HAS NOT BEEN APPROVE YEARS AFTER APPOINTL. OF THE MARTER PLAN FOR THE PUD. THE AP UNIT DEVELOPMENT MARTER WILL EXPIRE. ADDITIONALLY, IF MORE TH SETTMEEN THE FANIL DEVELOPMENT PLAN APPROVALS OF ANY SEQUEL APPROVAL OF THE PUD WILL EXPIRE.	PROVAL OF IAN TWO	9	M 1791 S
	12. THE INACTIVE VACATED AND	OVERHEAD UTILITY LINE LOCATED ON THE EASTERN PORTION OF THE REMOVED.	SITE WILL BE		
	13. NO ACTIVITY A ABUTTING THE	REAS ARE TO BE LOCATED WITHIN 20 FEET OF THE EASTERN PROPERT RESIDENTIAL LOTS.	YUNE	No DESC	RIPTION DATE
		S MUST BE LOCATED WITHIN 250 FEET OF THE BUILDING.		-	
		DA STATUE 633.027 CONCERNING LIGHT FRAME TRUSS CONSTRUCTIO BE REQUIRED TO HAVE AUTOMATIC FIRE SPRINKLER SYSTEM		H	
		T BE MONITORED BY AN AUTOMATIC FIRE ALARM SYSTEM.			
		IRE A REMOTE FDC FOR THE FIRE SPRIKLER SYSTEM.			
	20 MUST PROVIDE	E A LOCK BOX NEAR THE FRONT DOOR CAPTAIN BRIAN BOWMAN, OR A D REPRESENTATIVE FROM THE FIRE CHIEFS OFFICE MILL PROVIDE THE		E	
		SHALL BE MARKED WITH A BLUE ROAD REFLECTOR.		H	
	SAFETY.	IENT NFPA AND FLORIDA FIRE PREVENTION CODE CONCERNING FIRE A		PRELI	M DRC 3 08/26/16 M DRC 2 08/11/16
		S, WATER LINE WERASTRUCTURE AND FIRE HYDRANTS SHALL BE IN PI LDING CONSTRUCTION MAY BEGIN.	une -		I DRC 07/28/16 w expressly reserve lerty rights to this and it 8 ngt to be used, copied in any namer thatsoever first obtaining our mitten permission and consent.
				MWJ	ST: CHECKED ST:
				4	2000201 COVER
		WAIVER (W) TABLE	ILICTICICATION		SHEET
ODE # CODE REQUIREMEN		REQUEST	JUSTIFICATION SEE ATTACHED		- 13
03.02 2/BEDROOM+1/250 SF OF	FICE W	PARKING BASED ON ITE MANUAL	JEE ATTAULLU		

|--|

IMPERVIOUS TO SITE RATIO: 0.40

PERVIOUS TO SITE RATIO: 0.60

PROPOSED FRONT: 92' WEST SIDE: 77' REAR: 100' EAST SIDE: 100'

SITE DATA TABLE

RESIDENTIAL MEDIUM LOW DENSITY (0-7.5 DU/AC)

MAXIMUM BASED ON 0.30 FAR: 91,345 S.F.

05-21-28-0000-00-034

05-21-28-0000-00-041

05-21-28-0000-00-019

05-21-28-0000-00-035

ASSISTED LIVING FACILITY

6.99 AC./304,291 S.F.

PUD/R-3

33,566 S.F.

86,500 S.F.

0.28

PROPOSED: 35' 52,934 S.F.

MAXIMUM: 0.30

PROPOSED: 0.60

182067 S.F.

52,934 S.F.

69,291 S.F.

122,224 S.F.

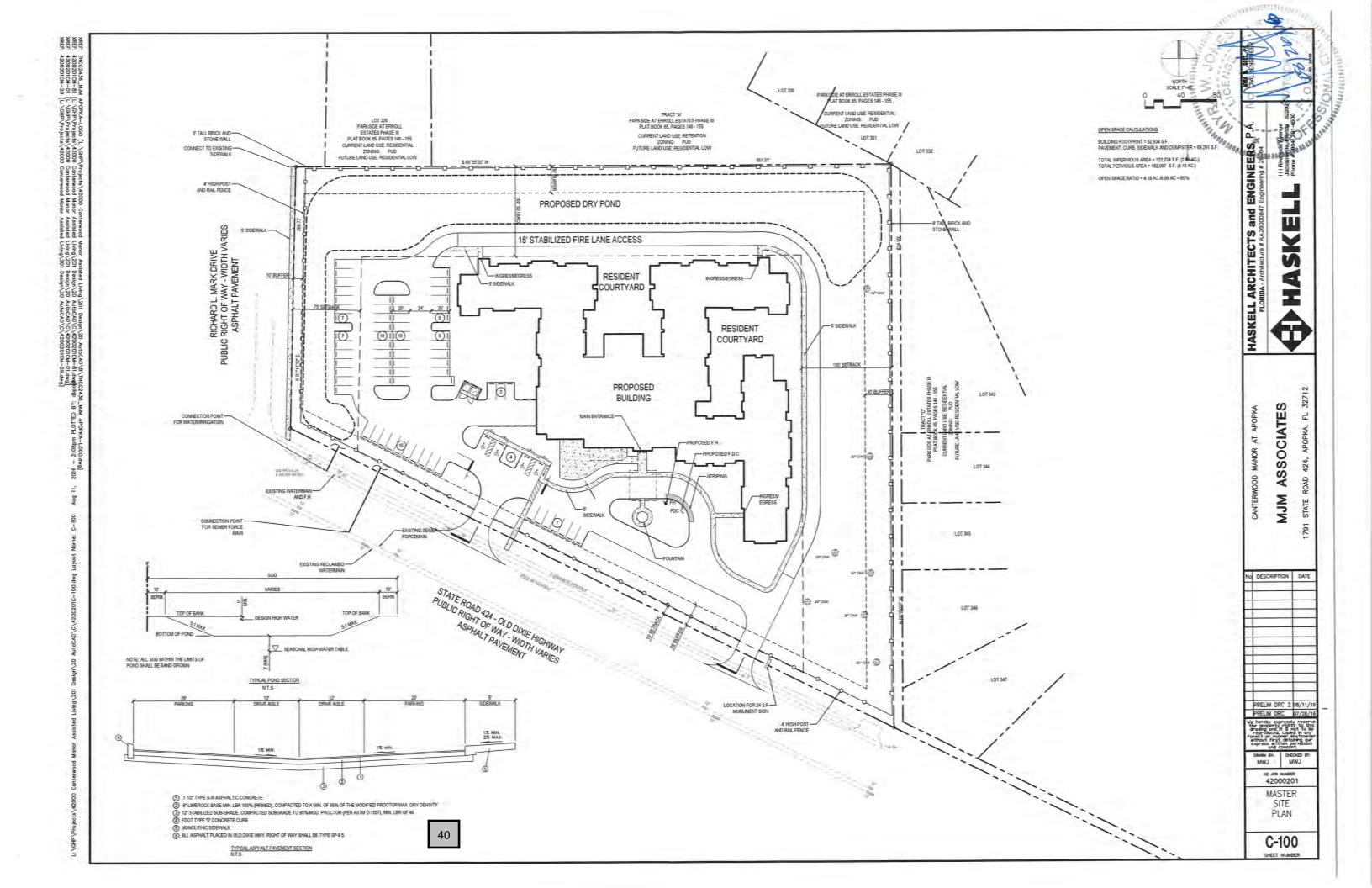
182,067 S.F.

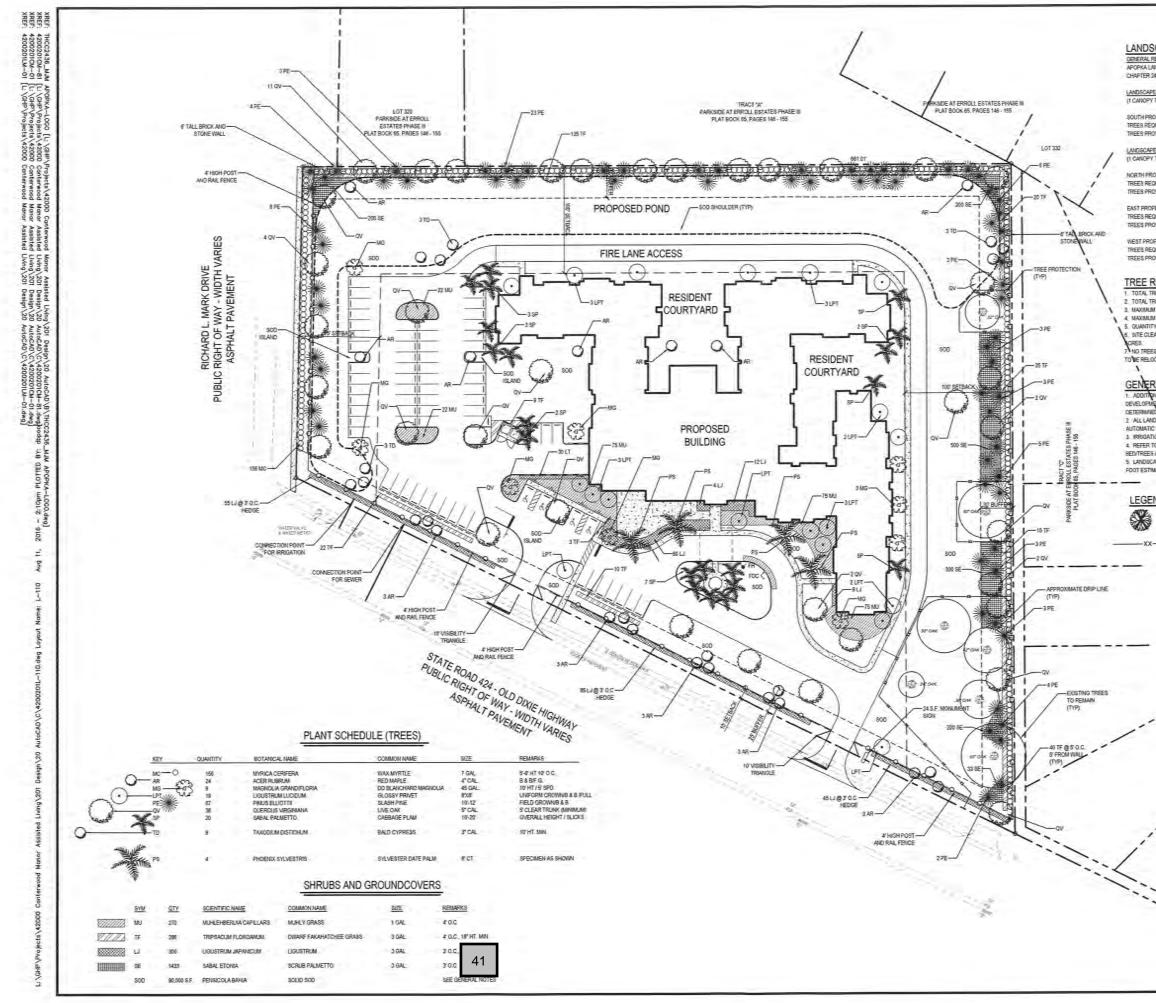
PROVIDED: 70 PROPOSED: 125

YES

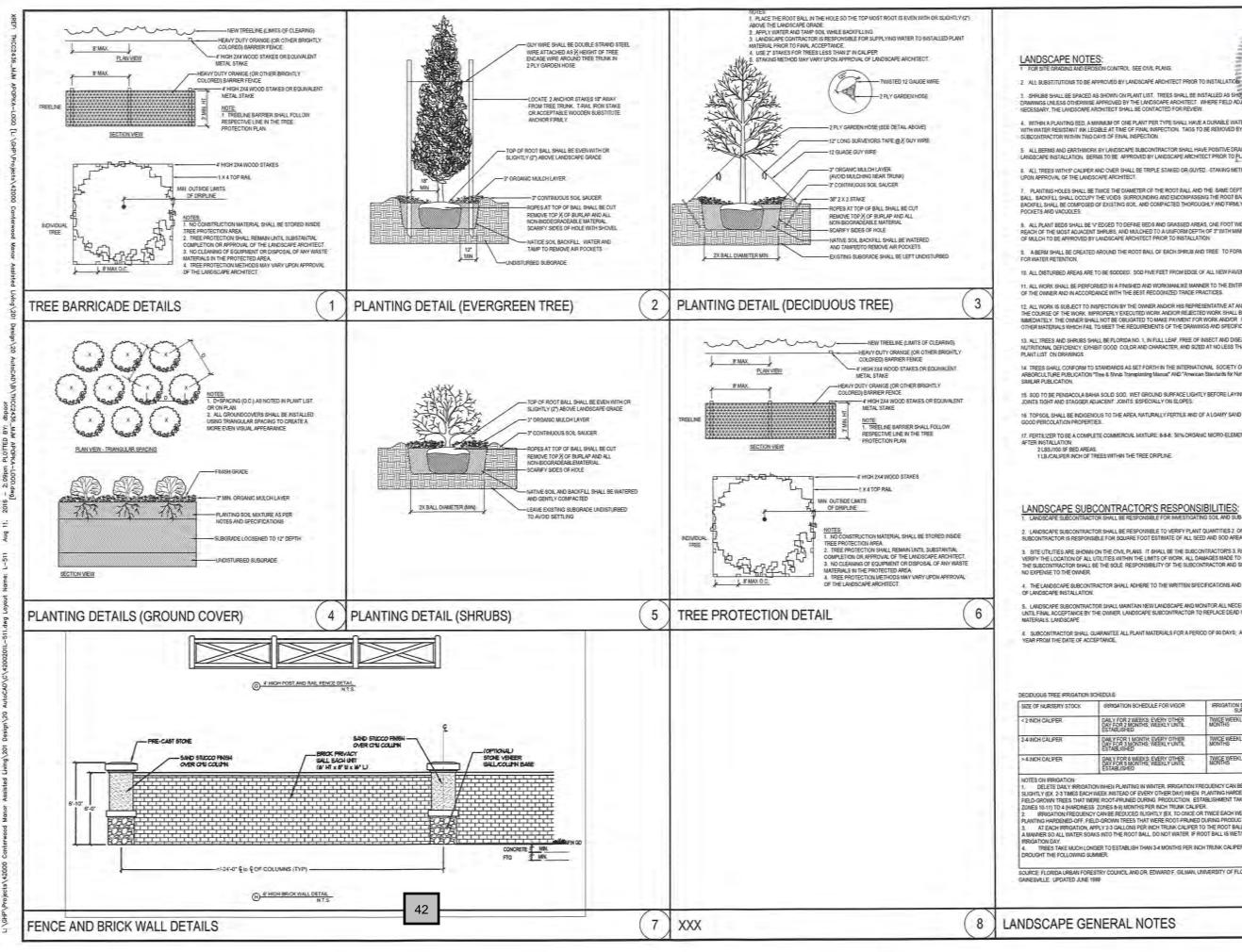
NO

TOTAL: 45 BUSIEST SHIFT: 20





Marine C	A Carlo
CAPE TABULATIONS:	CONTRACTOR
ADJACENT TO STREET RIGHT OF WAY	
REE PER 30 L F. AND 38" HEDGE) PERTY LINE 747 - 67 (IMPERVIOUS) = 687 IRED = 20 CANCPY ADED = 30 CANCPY ADJACENT TO OTHER PROPERTIES	INEERS, P.A. aring # 20083 II Riversite Awrue Jacksonviller Reda, accor Jacksonviller Reda, accor Prome # dbb, 701,4900
ADJACENT TO OTHER PROPERTIES REE PER 36 (.F.)	2500 2500
75877YLNE 661' 1950 = 39 CANOPY 101 = 38 CANOPY	GINE TIL
RTY LINE 524 JIRED = 18 CANOPY IDED = 38 CANOPY + 5 EXISTING	
ERTY LINE 29V JIRED = 8 CANOPY JDED = 13 CANOPY	# AA2600
EMOVAL AND REPLACEMENT ENCHES ON-SITE = 224" ENCHES REMOVED = 0". TREE NICHES REMOVED = NA. TREE STOCK FORMULA AND CALCULATIONS = NA. OF SPECIMENT INTERS (22 OF GREATER) BEING REMOVED = 0" RING AREA IN SOCIARE FEET AND ACRES = 223.425 S.F. 8.7 ON SITE ARE TO BE REMOVED. NON - SURVEYED PALMS ARE ATED TO THE PROVIDED LOCATIONS. AL NOTES:	HASKELL ARCHITECTS and ENGINEERS. FLORIDA - Architecture # AA20000847 Engineering # 2008
AL TREES OR SHRUBS IMAY BE ADDED TO THE FAM. NT PLAN TO SOREEN ADJACENT RESIDENTIAL AREAS IF INCERSARY. SLAPE AREAS TO RECEIVE 100% COVERABLE FROM AN INDERGROUND IRRIGATION SYSTEM WITH RAIN SENSOR. IN INTERES ARE NOT ALLOWED POPLY SHRAY HEADS ONLY. IORDINANCE NO. 2008 MILCOR IRRIGATION FOR PLANT NO MUST BE SEPARATED FROM TURF RRIGATION. RECONTRACTORS SHALL BE RESPINIBILE FOR SQUARE NTES OF ALL SOD AND MULCH.	POPKA TES , FL 32712
D	CIA CIA
TREE TO BE REMOVED	MANOF MANOF
TREE PROTECTION AT TREES TO BE SAVED	CANTERWOOD MANOR AT APOPKA JJM ASSOCIATES STATE ROAD 424, APOPKA, FL 3
TREES TO BE SAVED:	CAN MJ
CAX - 60" TOTAL = 284"	No DESCRIPTION DATE
LANDSCAPE AND RRIGATION DESIGN ICERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPILA'S ORDINANCE 2089 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STI MONADES.	
SIGNATURE REGINO. DATE	
/	
1	PRELIM DRC 2 pa/11/15
/	PRELIM DRC 07/28/16
	Ve haveby expressly restrict the graderity rights to this drawing and it is not to be proprioduce, copied in sing- restroacts existen singer express written promission and constant. David Rt. Decode Rt.
>	EWL EWL
	42000201 LANDSCAPE PLAN
11	L-110
	SHEET NUMBER



LANDSCAPE NOTES

CONTROL SEE CIVIL PLANS

SHRI BS SHALL RE SPACED AS SHOWN ON PLANT LIST. TREES SHALL BE INSTALLED AS SHOWN OF IN ESS OTHERMINE APPROVED BY THE LANDSCAPE ARCHITECT. WHERE FIELD ADJUSTINENTS SEE THE LANDSCAPE ARCHITECT SHALL BE CONTACTED FOR REVIEW.

DRAWNOS UNLESS OTHERWISE APPRUARED OF THE CONTACTED FOR REVEW. RECESSARY, THE LANDSCHE ARCHITECT SHALL BE CONTACTED FOR REVEW. 4. WITHIN APLANTING BED, AMINIMUM OF ONE PLANT PER TYPE SHALL HAVE A DURABLE WATERPROF UNDER WITHIN MER RESISTANT RALE LOBELE AT THE OF ONE PLANT PER TYPE SHALL HAVE A DURABLE WATERPROF UNDER SUBJOINTRACTOR WITHIN TWO DAYS OF FINAL INSPECTION. TABS TO BE REMOVED BY SUBJOINTRACTOR WITHIN TWO DAYS OF FINAL INSPECTION.

5. ALL BERNS AND EARTHWORK BY LANDSCAPE SUBCONTRACTOR SHALL HAVE POSITIVE DRAINAGE AFTER LANDSCAPE INSTALLATION. BERNS TO BE: APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.

5. ALL TREES WITH 5' CALIFER AND OVER SHALL BE TRIPLE STAKED OR GUYED. STAKING METHOD MAY VARY LIPON APPROVAL OF THE LANDSCAPE ARCHITECT.

7. PLANTING HOLES SHALL BE TWICE THE DIAMETER OF THE ROOT BALL AND THE SAME DEPTH AS THE ROOT. BALL BACKFLL SHALL OCCUPY THE VOIDS SURROUNDING AND ENCOMPASSING THE ROOT BALL SUCH BACKFILL SHALL BE COMPOSED OF EXISTING SOIL, AND COMPACTED THOROUGHLY AND FIRMLY TO REMOVE AIR

8. ALL PLINT BEDS SHALL SE Y EDGED TO DEFINE GEDS MON GRASSED AREAS, ONE FOOT WICES THAT THE REACH OF THE MOST ADJACENT SHRUES, AND MULCHED TO A UNIFORM GEDTH OF STWITH MINI PRIEBARK TYPE OF MULCH TO BE ARRAYCED ST UNDSCAPE REFINETE FROM TO INSTALLATION.

9. A BERN SHALL BE OREATED AROUND THE ROOT BALL OF EACH SHRUB AND TREE. TO FORM A SAUCER AREA FOR WATER RETENTION.

10. ALL DISTURBED AREAS ARE TO BE \$000ED. SOD FIVE FEET FROM EDGE OF ALL NEW PAVEMENT AREAS.

11, ALL WORK SHALL BE PERFORMED IN A PINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE DUNIER AND IN ACCORDANCE WITH THE BEST RECOON ZED TRADE PRACTICES.

12. ALL WORK IS SUBJECT TO INSPECTION BY THE OWNER AND/OR HIS REPRESENTATIVE AT ANY TIME DURING THE COURSE OF THE WORK IMPROPERLY EXECUTED WORK AND/OR REJECTED WORK SHALL BE REPLACED. MARCUNTELY: THE OWNER SHALL NOT BE COLLEGATED TO MARE PAYMENT FOR WORK AND/OR PLANTS OR OTHER MATERIALS WHICH FAIL TO MEET THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS.

13 AU TREFS AND SHRURS SHALL BE FLORIDA NO. 1. IN FULL LEAF, FREE OF INSECT AND DISEASE, FREE OF NUTRITIONAL DEFICIENCY, EXHIBIT GOOD COLOR AND CHARACTER, AND SIZED AT NO LESS THAN NOTED IN THE PLANT LIST ON DRAWINGS.

14. TREES SHALL CONFORM TO STANDARDS AS SET FORTH IN THE INTERNATIONAL SOCIETY OF-ARGORCULTURE PUBLICATION*Time & Shub Transplaning Manual* AND "American Standards for Narsey Stock" OR SIMULAR PUBLICATION.

15. SOD TO BE PENSACCI A BAHA SOLD SOD. WET GROUND SURFACE LIGHTLY BEFORE LAYING SOD. BUTT JOINTS TIGHT AND STAGGER ADJACENT JOINTS' ESPECIALLY ON SLOPES.

16. TOPSOIL SHALL BE INDIGENOUS TO THE APEA, NATURALLY FERTILE AND OF A LOAKY SAND NATURE WITH GOOD PERCOLATION PROPERTIES.

17. FERTILIZER TO BE A COMPLETE COMMERCIAL MOTURE 84-8. 50% ORGANIC MICRO-ELEMENTS. FERTILIZE

1 LB/CALIFER INCH OF TREES WITHIN THE TREE OR PLINE.

LANDSCAPE SUBCONTRACTOR'S RESPONSIBILITIES

2 LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE TO VERIFY PLANT QUANTITIES 2 ON PLANT LIST. SUBCONTRACTOR IS RESPONSIBLE FOR SQUARE FOOT ESTIMATE OF ALL SEED AND SOD AREAS.

 SITE UTURES ARE SHOWN ON THE CIVIL PLANS. IT SHALL BE THE SUBCONTRACTORS 3, RESPONSELITY OF VERY THE LOCATION OF ALL UTURES WITHIN THE LIMITS OF WORK. ALL DAMAGES MARE TO EXISTING UTURES BY THE SUBCONTRACTOR SHALL BE HE SOLE RESPONSEINTY OF THE SUBCONTRACTOR AND SHALL BE REPARED AT THE SUBCONTRACTOR SHALL BE REPARED AT NO EXPENSE TO THE OWNER.

4. THE LANDSCAPE SUBCONTRACTOR SHALL ADHERE TO THE WRITTEN SPECIFICATIONS AND PLANS FOR ALL PHASES.

LADSCHPE SUBCONTRACTOR SHALL MARTAN NEW LANDSCHPE AND MONITOR ALL NECESSARY OPERATIONS UNTLEINAL ACCEPTANCE BY THE OWNER LANDSCHPE SUBCONTRACTOR TO REFLACE DEAD OR DISEASED PLANT MATERNALS (JANDSCHPE)

& SUBCONTRACTOR SHALL GUARAVITEE ALL PLANT MATERIALS FOR A PERIOD OF 90 DAYS; ALL TREES FOR ONE YEAR FROM THE DATE OF ACCEPTANCE.

DECIDUOUS TREE (RRIGATION SCHEDULS

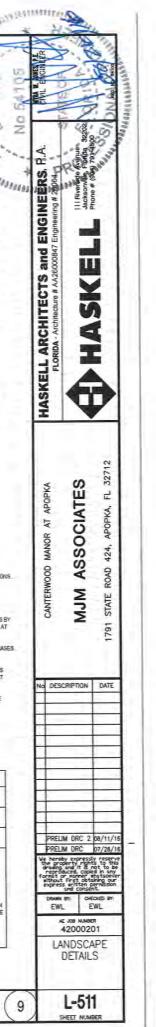
SERY STOCK	IRRIGATION SCHEDULE FOR VIGOR	RRIGATION SCHEDULE FOR SURVIVAL
PER	DAILY FOR 2 WEEKS, EVERY OTHER DAY FOR 2 MONTHS, WEEKLY UNTL ESTABLISHED	TWICE WEEKLY FOR 2-3 MONTHS
PER	DAILY FOR 1 MONTH: EVERY OTHER DAY FOR 3 MONTHS, WEEKLY UNTL ESTABLISHED	TWICE WEEKLY FOR 34 MONTHS
PER	DAILY FOR 6 WEEKS, EVERY OTHER DAY FOR 5 MONTHS, WEEKLY UNTL	TMICE WEEKLY FOR 45 MONTHS

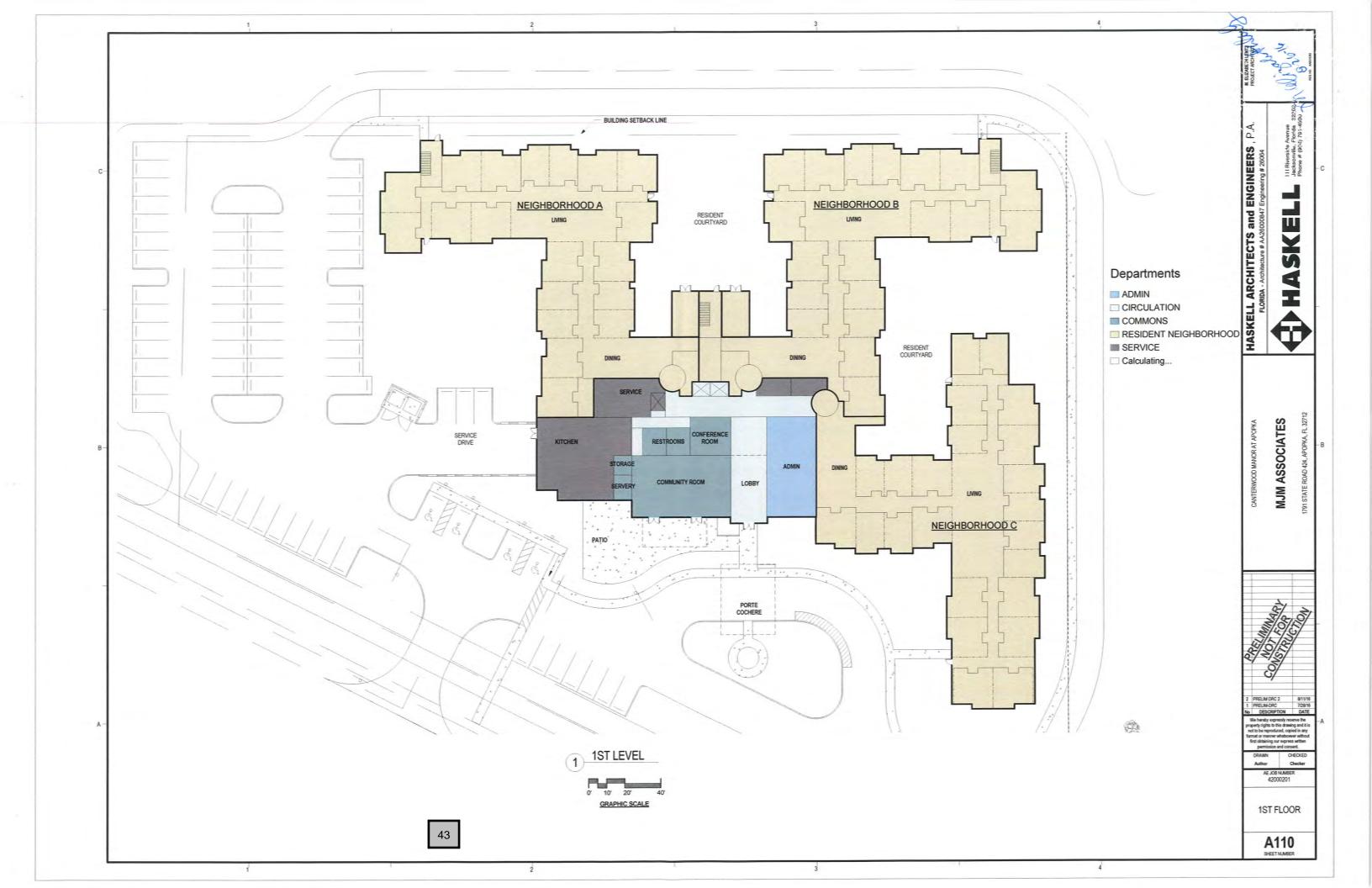
NOTES ON REGATION-1. DELETE DALY REGATION WHEN PLANTING IN WINTER, IRRIGATION FREQUENCY CAN BE REDUCED SUBRITLY KZ, 31 MKS EACH WEEK INSTEAD OF EVERY OTHER DAI/ WHEN PLANTING HARDENED OFF, FED-GROWN TREES THAT WEEK ROTFRUNED DURING PRODUCTION, BSTAELISHWEITT TWES 3 (HARDNESS DURES IN 41) TO 4 NARDNESS ZORS 54 (I) MONTHIS PER INCH THUK CALIFER. 2. IRRIGATION FREQUENCY CAN BE REPUCED SUBHILY (EX. TO ONCE OR TWICE EACH WEEK) WHEN PLANTING HARDENED OFF, FELD-DROWN TREES THAT WEEK ROOT-PRUNED DURING FREQUENCY 3. AT EACH RIRDATION, ARPLY 33 GALLIANS PER INCH THUK CALIFER TO THE FOOT BALL SWETSATURATED ON THE BORDATION OFF

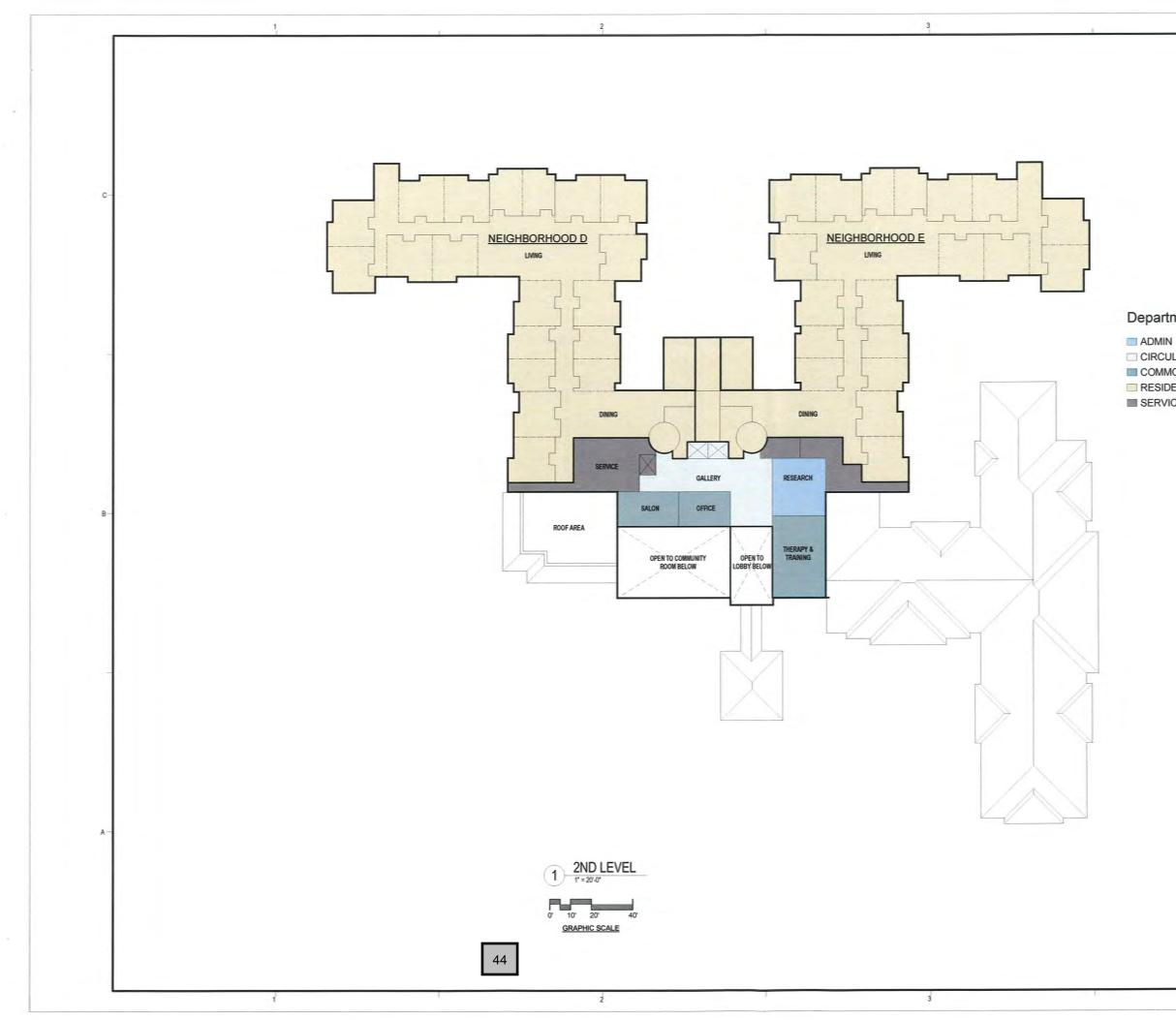
TREES TAKE MUCH LONGER TO ESTABLISH THAN 34 MONTHS PER NCH TRUNK CALIPER. IRRIGATE IN DROUGHT THE FOLLOWING SUMMER.

L. SOURCE: FLORIDA URBAN FORESTRY COUNCIL AND DR. EDWARD F. GLIMAN, UNIVERSITY OF FLORIDA, GAMESVILLE: UPDATED JUNE 1999

LANDSCAPE GENERAL NOTES







Departments

CIRCULATION

COMMONS

RESIDENT NEIGHBORHOOD

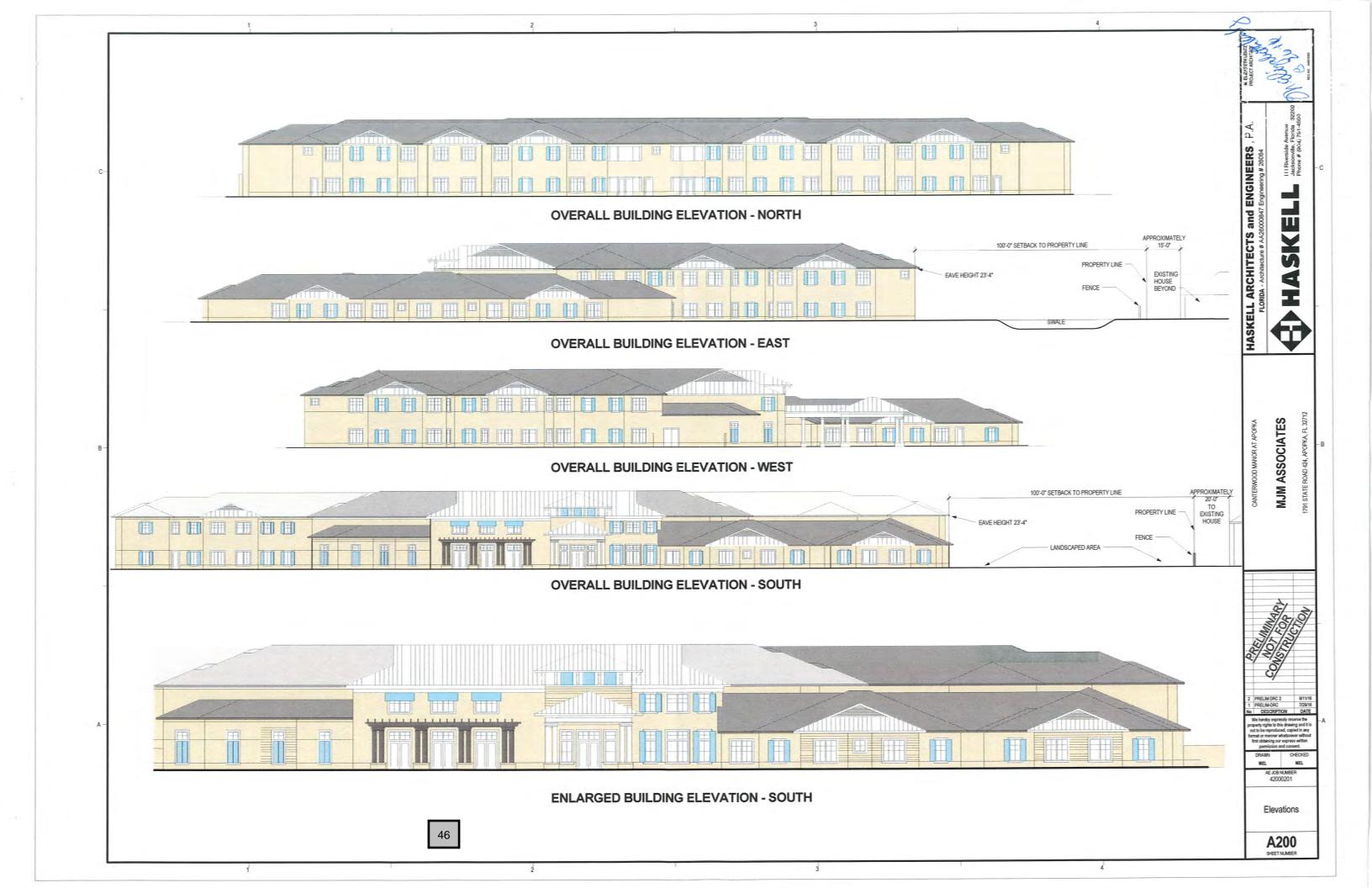
4

4

SERVICE







MASTER SITE PLAN/PRELIMINARY DEVELOPMEN FOR **DIXIE MANOR CITY OF APOPKA, FLORIDA** FEB 27 2014

PROPERTY ADDRESS

1791 OLD DIXIE HIGHWAY APOPKA, FLORIDA 32712

OWNER/DEVELOPER

ROBERT K. DUNN 3020 TAYSIDE COURT APOPKA, FLORIDA 32712 PHONE: (407) 579-1617

ENGINEER

HUDAK ENGINEERING, INC. 1344 HARDY AVENUE ORLANDO, FLORIDA 32803 PHONE: (407) 492-6833 ATTN.: GREG HUDAK, P.E.

ARCHITECT

DDP ARCHITEGTS 390 WILWA STREET LONGWOOD, FLORIDA 32750 PHONE: (407) 970-2575 ATTN.: JAMES GARRITANI

LANDSCAPE ARCHITECT

LANDSCAPE DYNAMICS, INC. P.O. BOX 2852 WINTER PARK, FLORIDA 32790-2852 PHONE: (407)579-1811 ATTN.: RANDY BUCHANAN, RLA



VICINITY MAP

	SITE DATA TABLE
PARCEL ID NUMBER	05-21-28-0000-00-034
PARCEL ID NUMBER	05-21-28-0000-00-041
PARCEL ID NUMBER	05-21-28-0000-00-019
PARCEL ID NUMBER	05-21-28-0000-00-035
PROPOSED USE	ASSISTED LIVING FACILITY
FUTURE LAND USE	EXISTING: LOW DENSITY RESIDENTIAL PROPOSED: MEDIUM DENSITY RESIDENTIAL
ZONING	EXISTING: R-3 (ZIP) PROPOSED: PUD
ACREAGE/SQUARE FOOTAGE	6.99 AC./304,484 S.F.
BUILDING HEIGHT	PROPOSED: 35 FT MAX: 35 FT
FLOOR AREA RATIO	PROPOSED: 0.25 MAX. 0.25
OPEN SPACE RATIO	PROPOSED: 0.65 MIN. 0.30
BUILDING SETBACKS	PROPOSED FRONT: 92' WEST SIDE: 77' REAR: 100' EAST SIDE: 100'
BUILDING SEIBACKS	REQUIRED FRONT: 10' WEST SIDE: 75' REAR: 100' EAST SIDE: 100'
PARKING SPACES	PROVIDED: 70 REQUIRED: SEE BELOW
NUMBER OF BEDS	140
NUMBER OF EMPLOYEES	TOTAL: 45 BUSIEST SHIFT: 20
WAIVER REQUEST	YES: X NO:
VARIANCE REQUEST	YES: NO: X

VARIANCE (V)/WAIVER (W) TABLE					
CODE#	CODE REQUIREMENT	(V/W)	REQUEST	JUSTIFICATION	
8.03.02	2/BEDROOM+1/250 SF OFFICE	W	PARKING BASED ON ITE MANUAL	SEE ATTACHED	
		-			
		-			

SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST

SHEET NO.	
C-1	COVE
C-2	SITE
L-1	LAND
L-2	LAND
A2-1	1ST PLAN
A2-2	2ND PLAN
A3-1	BUIL
	SURV

INDEX OF SH

GENERAL NOTES:

- 5. NO FACILITY SHALL BE OCCUPIED BY ANY PERSON WHO HAS BEEN CONVICTED OF, ENTERED A PLEA OF GUILTY OR NOLO CONTENDRE TO, OR HAS BEEN FOUND GUILTY BY REASON OF INSANITY OF A FORCING FELONY UNDER SECTION TO BE TO THE ASSOCIATION OF THE RESOLUTION OF THE SECOND DEGREE UNDER SECTION 100.04, FLORIDA STATUTES (1985), A FLORY OF THE SECOND DEGREE UNDER SECTION 100.04, FLORIDA STATUTES (1985), AR ANY OF THE SEX OFFENCES SET FORTH UNDER SECTION 17.012(1), FLORIDA STATUTES (1985), AREADOLESS OF WHETHER AN ADJUDICATION OF QUILT ON INPOSITION OF SENTENCE WAS SUSPENDED, DEFERRED OR WITHER.D.
- 5. ALL SIDEWALKS ALONG OLD DIXE HIGHWAY AND INTERNAL SHALL WEET ADA REQUIREMENTS AND DITY STANDARDS.
- 7. AN OUTDOOR LIGHTING PLAN PER THE OTY'S DEVELOPMENT DESIGN GUIDELINES SHALL BE PROVIDED WITH THE PINAL DEVELOPMENT PLANS.
- 8. A PHOTOMETRIC LIGHTING PLAN FOR THE STEE SHALL BE PROVIDED AS PART OF THE FINAL DEVELOPMENT PLANS. LIGHTING PLAN SHALL PREVENT LIGHT SPILLOVER INTO RESIDENTIAL AREAS AND LIMIT LIMENS TO 0 AT PROPERTY LINES.
- 9. MONUMENT SIGN SHALL NOT EXCEED 6 FEET IN HEIGHT WITH A MAXIMUM COP AREA OF 32 SQUARE
- 10. ELECTRONIC READER BOARD IS NOT ALLOWED AS PART OF THE MONUMENT SIGN.
- 11. IF A FINAL DEVELOPMENT PLAN ASSOCIATED WITH THE PUD HAS NOT BEEN APPROVED BY THE CITY WITHIN THREE YEARS AFTER APPROVAL OF THE MASTER PLAN FOR THE PUD, THE APPROVAL OF THE PLANEDI UNIT DEVELOPMENT MASTER PLAN WILL EXPRE. ADDITIONALLY, IF MORE THAN TWO YEARS LAPSE BETWEEN THE FINAL DEVELOPMENT PLAN APPROVALS OF MY SEQUENTIAL PHASES OF THE PUD. THE APPROVAL OF THE PUD MASTER PLAN SHALL EXPIRE.
- 13. NO ACTIVITY AREAS ARE TO BE LOCATED WITHIN 20 FEET OF THE EASTERN PROPERTY LINE ABUITING THE RESIDENTIAL LOTS.

IT PLAN	I
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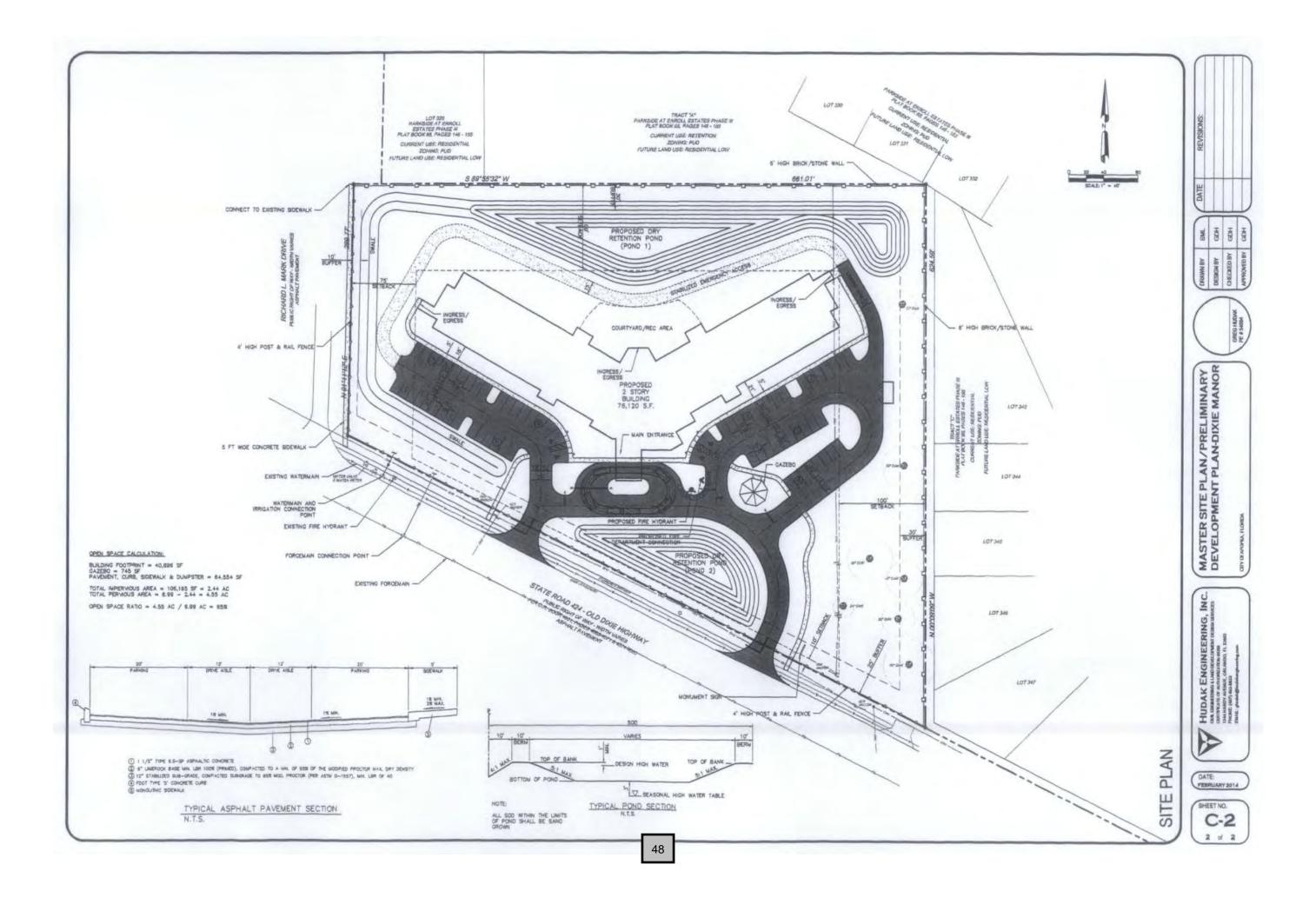
HEETS
SHEET TITLE
R SHEET
PLAN
SCAPE PLAN
SCAPE DETAILS &
EVEL FLOOR
LEVEL FLOOR
ING ELEVATIONS

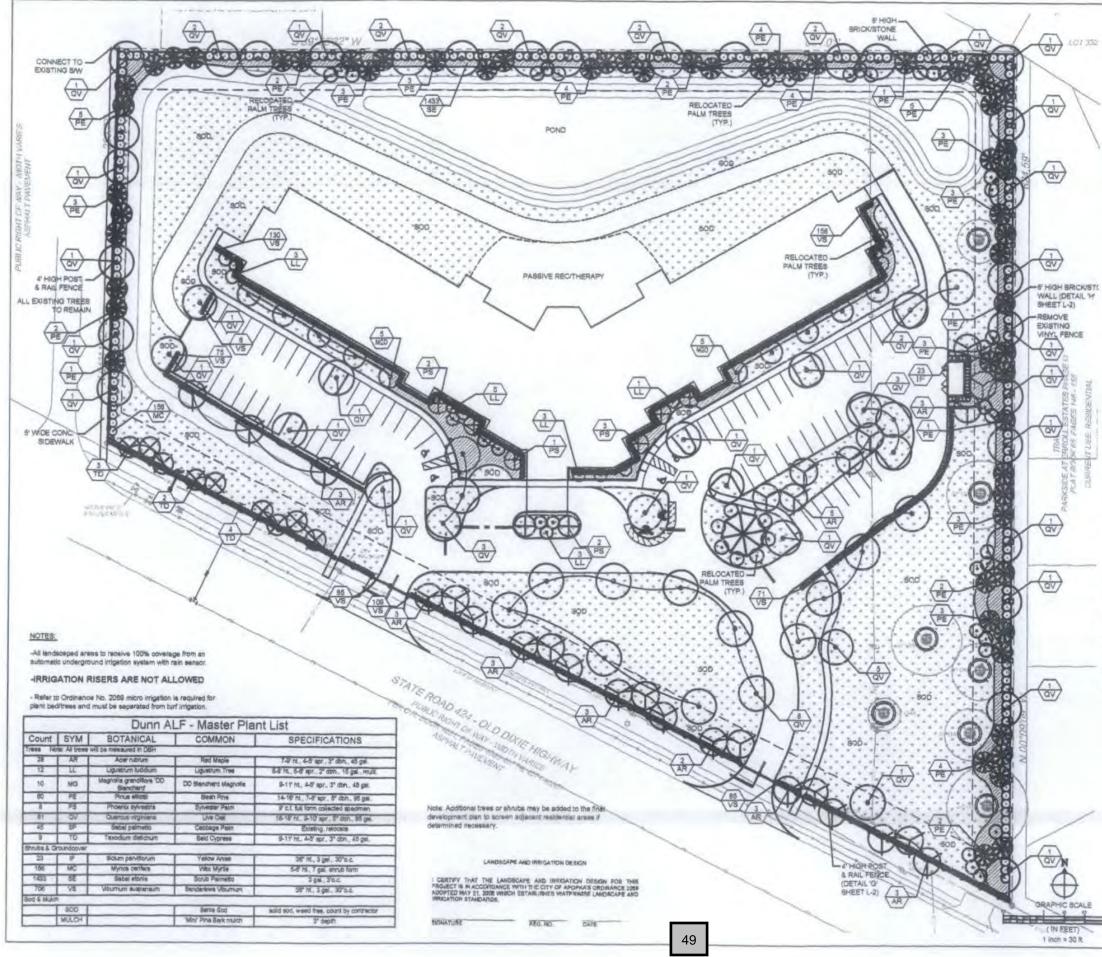
VEY

- 1. THE FINAL DEVELOPMENT PLAN AT A MINIMUM SHALL ADDRESS THE INFORMATION REQUIRED UNDER SECTION 12.02.04 OF THE APOPKA LAND DEVELOPMENT CODE.
- 2. FACILITY SHALL CONFORM TO ALL APPLICABLE BUILDING STATUTES, CODES OR ORDINANCES, WHETHER FEDERAL, STATE, COUNTY OR CITY.
- 3. FACULTY SHALL CONFORM TO ALL REQUIREMENTS, RULE AND RECULATIONS OF THE FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES APPLICABLE TO SUCH FACULTES.
- 4. FACULTY SHALL CONFORM TO ALL LAND DEVELOPMENT CODES AND CROINANCES PERTAINING TO THESE DISTRICTS AND TO ALL APPLICABLE CITY LICENSING REQUIREMENTS.

- 12. THE INACTIVE OVERNEAD UTILITY LINE LOCATED ON THE EASTERN PORTION OF THE SITE WILL BE VACATED AND REMOVED.

IUDAK ENGINEERING, INC.	MASTER SITE PLAN/PRELIMINARY	(DRAWN BY	SML	DATE	REVISIONS
DEVELONMENT DISIDAN SURVICES	DEVELOPMENT PLAN-DIXIE MANOR		DESIGN BY	GDH		
ANDO, FL 12603			CASCINENTRY	inter		
		CORECT NUCLAR	A REAL PROPERTY AND	LIND		
(worken	CITY OFAPORIX, PLONDA	PE # 54004	VEROVED BY	GDH		





LANDSCAPE TABULATION GENERAL REQUIREMENTS Apopia Land Development Code Applies Chapter 24, Landscaping, Buffering, and Open Speo

Landscepe Adjecent to Street Right-of-Way: (1 canopy tree per 30 Lf., and 36" Hedge)

South c 747 - 60' (impervious) = 687' Treas Required: 20 Canopy Treas Provided: 30 Canopy

Landscape Adjacent to Other Properties. (1 canopy tree per 35 (.f.)

North & 661" Trees Required: 19 Canopy Trees Provided: 39 Canopy

East & 824' East c 52* Trees Required: 18 Canopy Trees Provided: 38 Canopy + 5 Existing West t 290' Tress Required: 8 Canopy Tress Provided: 13 Canopy

TREE PROTECTION SYMBOLS

TREES TO BE SAVED

TREES TO BE REMOVED

T	rees to	be S	aved
Type	Count	Bize	inches
Oak	1	24"	24
Oak	1	32"	32
Oak	1	36"	36
Oek .	1	42"	42
Oek	2	80"	50
Oek	1	60"	60
	T	otal	
	7.74	105	224 Inche

TREE REMOVAL AND REPLACEMENT

TOTAL TREE INCHES ON-BITE = 224"

TOTAL TREE INCHES REMOVED = 0"

TOTAL TREE INCHES REPLACED = N.A.

MAXIMUM TREE STOCK FORMULA AND CALCULATIONS = N.A.

QUANTITY OF SPECIMEN TREES (24" OR GREATER) BEING REMOVED = 0

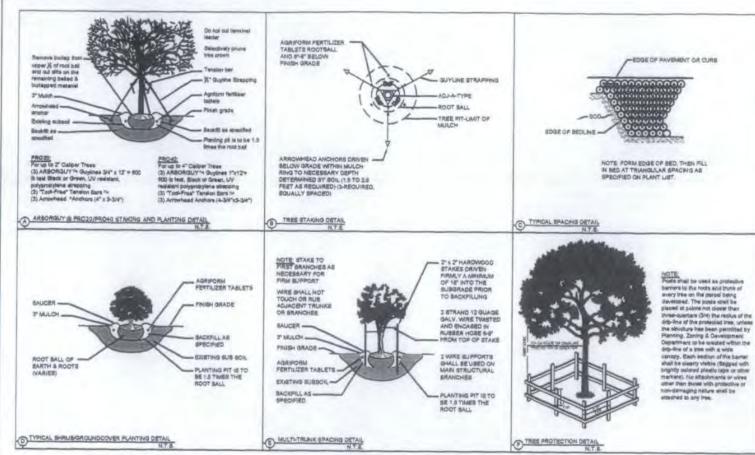
SITE CLEARING AREA IN SOLIARE FEET AND ACRES = 293,625 sf., 6.7 scres

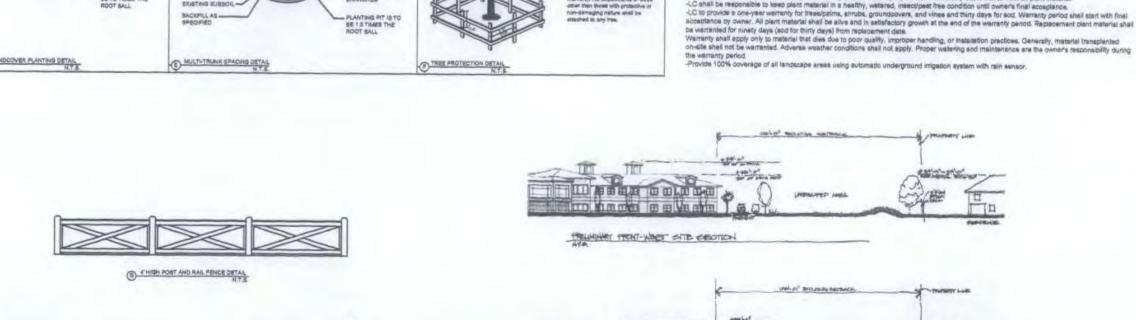
NOTE: NO TREES ON SITE ARE TO BE REMOVED. UNSURVEYED PALMS ARE TO BE RELOCATED TO THE PROVIDED LOCATIONS.

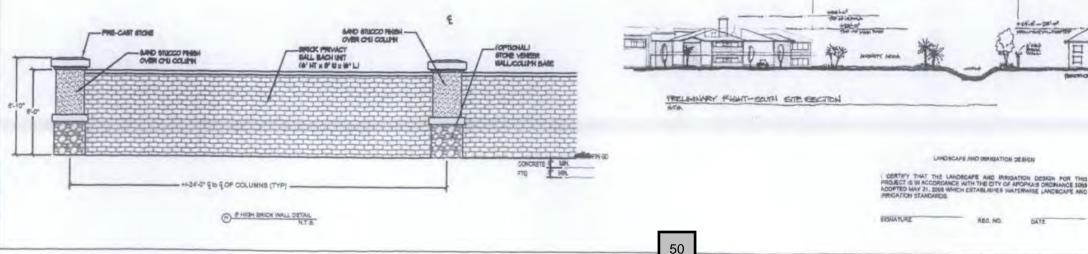
NOTE: Follow is notify Landscale Another and another deal, or minibilitation expectations price in contracteding markers conference respectively in ord cases insures for contractions direges, not its centre or his synamical for contractions direges, not its centre or his synamical for contractions direges, not its centre or his synamical landscale and the synamical ordination (Sec. 1997). The Owner mark markers have insure and groundscale, and have mixed and there is no insure that with the 24° energy stable for which and a groundscale, and mixed after this line issues transit fuelds of an ground directly and some than (T2 across fields of rais). In mixed after this line issues transit fuelds and rais directly all relaxing the markets in the annex centralized of the landscale proversite responses and/or the issues transit. The centre, suscing comparises and/or the issues transit fields of not responsible responses in the issues that the constraints are responses in the issues that the constraints are responsessibility to find the Issue transitions compare to Artific AL and TTREE MARCH TOR AND TO MARD VISTER ALS PREFINE INSTRACTION CONTACTION APARD VISTER ALS DEPENDER VIST I DAY

48 HOURS BEFORE YOU DIG CALL SUNSHINE 1400-455-475 @ 811 IT'S THE LAW IN FLORIDA









GENERAL LANDSCAPE NOTES:

-Landscape contractor (LC) shall be responsible for all materials and work called for on the landscape plans and in the landscape notes and -Landscape contractor (LC) shall be responsible for all mitterials and work called for on the landscape plans and in the landscape notes and legand. Plant specifications are minimum acceptable sizes. Plans shall rule if there are any quantity discrepancies between the legend and plans. Final quantity takeoffs are the responsibility of the LC Notify the Landscape Architect of any discrepancies. -LC shall comply with all local codes and ordinances and orbain all permits and bonds necessary to construct the project. -LC shall comply with all local codes and ordinances and orbain all permits and bonds necessary to construct the project. -LC shall comply with all local codes and ordinances and orbain all permits and bonds necessary to construct the project. -LC shall be responsible for supplying all materials, lebor, and eculprent for the performance of the work. -LC shall be responsible for supplying all materials, lebor, and eculprent for the performance of their port of the work. -LC to verify all exitating grades, dimensions, adequate drainage, suitable planting soil and hald conditions and notify owner of discrepancies before proceeding with work. Per FL Statutes, LC to call Bunshine State One (811) 72 hours prior to digging to have all utilities located. -LC to protect existing utilities, structures, surfaces, and wegetailon noted to be saved and be responsible for respiring local and the solutions. LC to protect existing utilities, structures, surfaces, and vegetation noted to be saved and be responsible for repair/replacement. Protect trees to be saved per detail. Vehicle parking, material storage, or soil removal/addition is not permitted within driptines. Round-Up shall be applied twice at the day intervise onto all existing vegetation, sod, and groundower areas that are to be replanted. Extrema care shall be taken to prevent overspray and/or drift onto existing plant material to be saved. MM's recommendations shall be followed. Ramaining weeds and their roots shall be removed by hand prior to installation of plants. Resprouting weeds and plants are the responsibility of the LC through the one year warranty period.

All prior materials shall be graded Florida No. 1 or better as outlined under current Gredes and Standards for Nursery Plants, Division of Plant industry, State of Florida, unless otherwise noted. All plants not listed shall conform to a Florida No. 1 or better as to: (1) health and vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) heavily branched and dansely foliated according to the accepted normal shape of the species. LC to obtain written certification from nurseries that plant meteriels are Florida No. 1 or better. Trees up to 4° celiper messured at 6° above soil fine and over 4° celiper at 12° above soil line unless otherwise noted. All specifications to be met or exceeded unless otherwise noted. All rootballs and containers to be free of weede and their note. Planting soil of Fix, peet mixed 1/2 with clean topsoil for the backfilling of plant pla and back shall be required only if existing soil is unsuitable for planting and/or contains lime rook or construction debris (to be removed).

Press and palms shall be installed so their top main root at the trunk is visible and 2" above finished grade. If root is buried, remove soil from the top of the rootball prior to installation. Do not apply the 1 %" of mulch to the top of the rootball until after inspection of each tree or paim.

-Landscepe Architect is not responsible for adverse soil or drainage conditions, determining sub-surface soil conditions, underground objects/utilities or the accuracy of property lines or information portrayed on surveys or on documents or plans provided by others. Owner or their agent is solely responsible for future maintenance of all plantings to maintain safe visibility within all visibility sight triangles and vehicular use and pedestrian areas within and immediately adjacent to the site.

pacentran areas worm and mmecasing expectent to the site. -Finished grade prior to mulching or sodding to its 3" below top of adjacent surfaces such as welks, curies and driveways extending perjaendicularly from the surface adja for a minimum distance of 15", See detail. -All petros, trees, shrubs, and groundcovers shall be fertilized with Agriform 20-10-5 or SierraTabs 16-8-12 planting tablets. One tablet/ 1 gai, 2 tablets/ 3 gai, 3 tablets/ 5 or 7 gai, 4 tablets/ 10 gai and one tablet/ each 1/2" of tree trunk diameter. Application shall be as per the details and mit's experimentation.

All planting beds (except for annuals) and trees to receive med, pine bark mulch. Due to environmental concerns, cypress mulch shell NOT All planting bets (except for annuals) and trees to receive med, pine bark mulot. Due to environmental concerns, cypress mulch shall be used. All free noticeling (which require a foot wide mulch rings in turf areas) shall be mulched to a maximum 1 %" depth to aid water penetration) following inspection. All other planting beds to receive a 3" depth. Mulch shall not bouch trunks a starms or be applied within the crowns of groundowers or over their branches or foliage. Mulch is to be applied by hand and shall not be "blown in". -Lo to mainstain all plant meastral in a plumb, unright and stable condition. All trees/pains to be guyed/staked as per details. -Lo to remove all bags (unless biodegradable), tags, ties, winse, ropes, stakes and numery stachments from all plant material.

-LC shall be responsible to keep plant material in a healthy, watered, insect/past free condition until owner's final acceptance.
-LC to provide a one-year warranty for trees/palms, annubs, groundoovers, and vines and thinty days for sod. Warranty period shall start with final

PROPERTY LINE







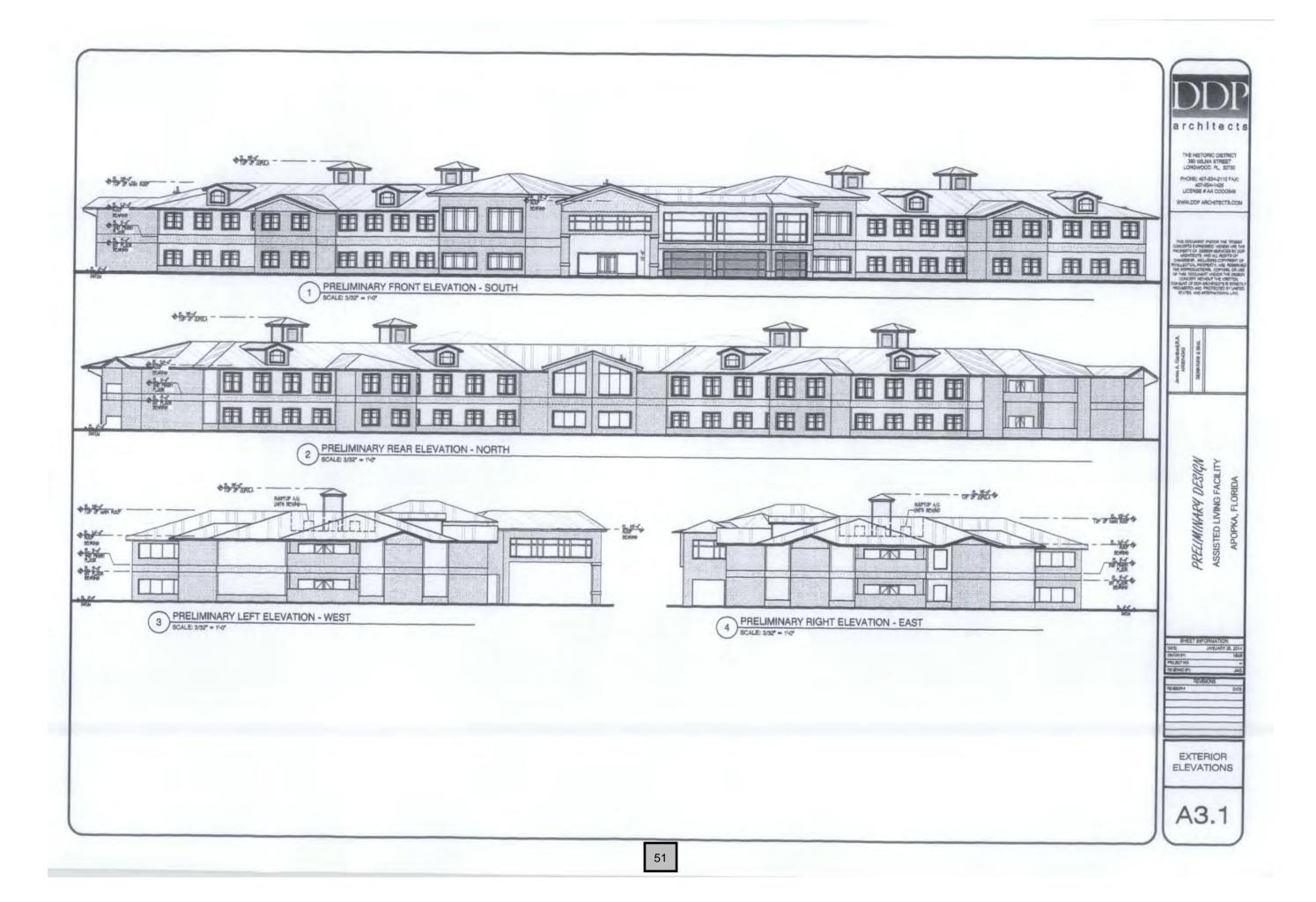
NOTE: Failure to notify Langesage And setal, or specification door Settik, or specification decempenders prior to revelop-uter-mikes anthrozzi revensionalism for al acuss hoursed for manapuration obsergies, not the owner or bits interseantially cardinates the poweries Creativation Co., Inc.). The Owner must instruct the halping of all grants within the "Uber OK-Bit" integrit wants to a height of an granteer them 24" allows grants for structure, and granuscomer, and you instruction (to income france) balance failed grantee, the manuscomer france frances, balance to result. Index also faits don'these bonds finally at tread and indexes interactions. Londerapped Cystemite Cherkholdber Co., Inc., In not responsible for topolitued mathematics of could flast material. The correct, leaving samples for impossible for materials could be resplicit for any stread flast material material materials for any stread flast material material wateries at ALMOBCARE CONTRACTOR TO HAND WATER ALC, INC. 17 TREE MATERIAL FOR AT LEAST 50 DAYS AFTER HISTALLATION.

48 HOURS BEFORE YOU DIG CALL SUNSHINE 1400-02-4776 of 811 IT'S THE LAW IN FLORIDA









ORDINANCE NO. 2355

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM "COUNTY" R-3 TO "CITY" PLANNED UNIT DEVELOPMENT (PUD/R-3) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF OLD DIXIE HIGHWAY, EAST OF RICHARD L. MARK DRIVE, AND SOUTH OF ERROL PARKWAY, COMPRISING 6.98 ACRES MORE OR LESS, AND OWNED BY <u>ROBERT</u> <u>K. DUNN ET. AL.</u>; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, the City of Apopka has requested a change in zoning on said property as identified in Section I of this ordinance; and

WHEREAS, the proposed Planned Unit Development (PUD/R-3) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

SECTION I. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan zoning and development standards provisions:

- A. The uses permitted within the PUD district shall be:
 - 1. A maximum of one-hundred twenty-five (125) Assisted Living Facility (ALF) beds or a maximum of fifty-one (51) permanent residential units. For any Assisted Living Facility, such use shall meet the State of Florida definition for an Assisted Living Facility, at least eighty (80) percent of the beds shall be occupied by those age 55 of over, and the ALF shall follow a policy that demonstrates an intent to provide residential care for those aged 55 or older. A nursing home, group home facility, foster home, drug or alcohol detox center or rehabilitation center or similar emergency shelter are not permissible uses under this PUD zoning ordinance unless as otherwise superseded by Florida Statutes.
 - 2. Any use or activity allowed within the R-3 residential zoning category exception as otherwise noted herein the PUD ordinance. Duplex residential units shall not be allowed.
 - 3. Any building other than single family residential shall be setback a minimum of one hundred (100) feet from the northern and eastern property line, and at minimum of fifty (50) feet from the western property line.
 - 4. Outdoor storage shall not be allowed (including donation bins).
 - 5. No recreation or similar outdoor activities (walking path, gathering places etc.) shall occur within twenty (20) feet of the property line excepting any public sidewalk along Old Dixie Highway.
 - 6. No outdoor activities shall occur after 9:00 PM or before 7:00 AM. Delivery services for shall be limited to similar hours.
 - 7. Regular visitor hours shall be limited to no earlier than 7:00 AM and not later than 11:00 PM except for emergency purposes.

- 8. Consistent with Section 2.02.02B.5.e. (3)(b), Apopka Land Development Code, no ALF shall be occupied by any person who has been convicted of, entered a plea of guilty or nolo contender to, or has been found guilty by reason of insanity of a forcible felony under Florida Statutes, a felony of the second degree under Florida Statutes, or any of the sex offenses set forth under Florida Statutes, regardless of whether an adjudication of guilt imposition of sentence was suspended, deferred or withheld.
- B. Development Standards:
 - 1. Development standards and setbacks shall comply with those established for the R-3 zoning category, as set forth under Section 2.02.07 of the Land Development Code, unless otherwise approved herein or within the Master Site Plan, or unless the City Council finds, based on substantial competent evidence, a proposed alternative development guideline is adequate to protect the public health safety and welfare, development within the PUD district.
 - 2. Maximum number of stories: two (2).
 - 3. A thirty (30) foot landscape buffer with a six foot high masonry wall shall occur along the northern and eastern property lines, and a fifteen (15) foot landscape buffer along the western property line. Location of the wall and landscaping shall be setback from the northwest property line to accommodate sufficient line-of-sight along Richard L. Mark Drive and to place open space next to the abutting residential lot.
 - 4. If the site is developed as an ALF, monument sign (identification sign) shall be limited to no more than twenty-four (24) square feet, and no electronic reader board will be allowed. The monument sign may be placed within the front yard along Old Dixie Highway near the site driveway entrance. No signage shall be allowed along Richard L. Mark Drive. No wall sign or other signage will be allowed except for on-site directional signage, unless otherwise allowed by the City's sign codes for special event or grand opening.
 - 5. No outdoor illumination shall spillover into abutting residential areas.
 - 6. All trees and landscaping within the perimeter buffers shall be allowed to grow and will be maintained to a height to screen the ALF building from adjacent residential areas.
 - 7. Architectural design of the building shall be generally consistent with that approved with the PUD ordinance unless otherwise approved by the City Council.
 - 8. Changes to the Master Site Plan/Preliminary Development Plan or architectural design considered to be insignificant may be approved by the Community Development Director or as approved by the City through the Final Development Plan.
 - 9. Employee parking shall be directed to the southwest parking area and visitor parking directed to the southeast parking area. On-site direction signage shall be posted to direct visitor parking as such.
 - 10. Driveway access to Richard L. Mark Drive shall not be allowed unless needed for emergency access.
- C. The Master Site Plan/Preliminary Development Plan is hereby approved and is part of the PUD zoning ordinance. Any requisite development standards not addressed within the Master Site Plan/Preliminary Development Plan shall be addressed within the Final Development Plan.

- D. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after the effective date of this ordinance, the approval of the Master Plan provisions will expire. At such time, the City Council may:
 - 1. Permit a single six-month extension for submittal of the required Final Development Plan;
 - 2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
 - 3. Rezone the property to a more appropriate zoning classification.

Section II. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby Planned Unit Development (PUD/R-3) As defined in the Apopka Land Development Code.

Legal Description:

The East 100 Feet of the North ½ of the West ½ of the Southwest ¼, lying north of Old Brick Road, in Section 5, Township 21 South, Range 28 East, Orange County, Florida Parcel I.D. # 05-21-28-0000-00-019 1.38 +/- acres

The North ½ of the East ½ of the West ½ of the Southwest ¼ of Section 5, Township 21 South, Range 28 East, lying north of Road, LESS the North 100.00 feet thereof, and also LESS the East 106.00 feet thereof, Orange County, Florida. Parcel I.D. # 05-21-28-0000-00-034 4.23 +/- acres

The West 6 feet of the East 106 feet of the Northeast ¹/₄ of the Northwest ¹/₄ of the Southwest ¹/₄ lying north of Old Brick Road in Section 5, Township 21 South, Range 28 East, Orange County, Florida.

Parcel I.D. # 05-21-28-0000-00-035 0.80 +/- acre

South 21.69 feet of the North 100.00 feet of the North ½ of the East ½ of the West ½ of the Southwest ¼ of Section 5, Township 21 South, Range 28 East, LESS the East 106.00 feet thereof, Orange County, Florida. Parcel I.D. # 05-21-28-0000-00-041 1.27 +/- acres

Total Combined Acreage: 6.98 +/- Acres

Section III. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section IV. That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

Section V. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

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ORDINANCE NO. 2355 PAGE 4

Section VI. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VII. That this Ordinance shall take effect upon the effective date of City of Apopka Ordinance No. 2354.

READ FIRST TIME: <u>March 19, 2014</u> READ SECOND TIME AND ADOPTED: <u>April 2, 2014</u> April 2, 2014

John H. Land, Mayor

ATTEST:

alte City Clerk APPROVED AS TO FORM: Frank κru acher. E Attorney a.. DULY AD RTISED FOR TRANSMITTAL HEARING:

February 21, 2014 March 21, 2014

MASTER SITE PLAN/PRELIMINARY DEVELOPMEN ____ โกลป (F) โรงป CT....) 0 Irvil CITY OF APOPKA, FLORIDA DIXIE MANOR FOR

FEB 27 2014 [e===

PROPERTY ADDRESS

1781 OLD DIXE HIGHWAY APOPKA, FLORIDA 32712

ROBERT K. DUNN 3620 TAYSIDE COURT APOPKA, FLORIDA 32712 PHONE: (407) 579-1617 OWNER/DEVELOPER

HUDAK ENGINEERING, INC. 1344 HARDY AVENUE ORLANDO, FLORIDA 32803 PHONE: (407) 492-6853 ATN.: GREG HUDAK, P.E ENGINEER

DDP ARCHITECTS 390 WLMA STREET LONGWOOD, FLORIDA PHONE: (407) 870-ATTN.: JAMES GARRI ARCHITECT

LANDSCA

PE ARCHITECT	r 14 32750 1-2575 RITAN	ŗ	

LANDSCAPE D'INAMICS, INC. P.O. BOX 2052 WINTER PARK FLORIDA 32790-2852 PHONEL (407)579-1811 ATTN.: RANDY BUCHANAN, RLA

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/ICINITY MAP

	SITE DATA TABLE
PARCEL ID NUMBER	05-21-28-0000-00-034
PARCEL ID NUMBER	05-21-28-0000-00-041
	05-21-28-0000-00-019
PARCEL ID NUMBER	05-21-28-0000-00-035
PROPOSED USE	ASSISTED LIVING FACILITY
FUTURE LAND USE	EXISTING: LOW DENSITY RESIDENTIAL PROPOSED: MEDIUM DENSITY RESIDENTIAL
ZONING	EXISTING: R-3 (ZIP) PROPOSED: PUD
ACREAGE/SQUARE FOOTAGE	5.99 AC./304,484 S.F.
BUILDING HEIGHT	PROPOSED: 35 FT MAX: 35 FT
FLOOR AREA RATIO	PROPOSED: 0.25 MAX 0.25
OPEN SPACE RATIO	PROPOSED: 0.65 MIN. 0.30
	PROPOSED FRONT: 92' WEST SIDE: 77' REAR: 100' EAST SIDE: 100'
BUILDING SCIBACKS	REQUIRED FRONT: 10' WEST SIDE: 75' REAR: 100' EAST SIDE: 100'
PARKING SPACES	PROVIDED: 70 REQUIRED: SEE BELOW
NUMBER OF BEDS	140
NUMBER OF EMPLOYEES	TOTAL: 45 BUSIEST SHIFT: 20
WAIVER REQUEST	YES: X ND:

SECTION 5,
TOWNSHIP 21
SOUTH, RANGE 28
EAST

CODE # 03.02

2/BEDROOM+1/250 SF OFFICE

VARIANCE (V)/WAIVER (W) TABLE

(V/W) REQUEST

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PARKING BASED ON ITE MANUAL

SEE ATTACHED JUSTIFICATION ARIANCE REQUEST

140 TOTAL: 45 YES: X YES: X

NO NO NO

13. NO ACTIVITY AREAS ARE TO BE LOCATED ABUITING THE RESIDENTIAL LOTS.

within 20 feet of the eastern property line

DATE: FEBRUARY 2014

SHEET NO.

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PORTION OF THE SITE WILL BE

12. THE INACTIVE OVERHEAD UTILITY LINE LOCATED ON THE EASTERN VACATED AND REMOVED.

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L APPLICABLE BUILDING STATUTES, CODES OR ORDINANCES, NY OR CITY.

CITY OFAPOPKA, FLOMOA

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9. MONUMENT SICH SHALL NOT EXCRED & FEET IN HEICHT WITH A MAXIMUM COP AREA OF 32 SOLLARE FEET.

10, ELECTRONIC READER BOARD IS NOT ALLOWED AS PART OF THE MONUMENT SIGN

11. F A FINAL DEVELOPMENT PLAN ASSOCATED WITH THE PUD HAS NOT BEEN / WITHIN THREE YELARS AFTER APPROVAL OF THE MASTER PLAN FOR THE PUD. THE PLANNED UNIT DEVELOPMENT MULTER PLAN WILL EPROVALS OF ANT I YELARS LAPSE BETWEEN THE FINAL DEVELOPMENT PLAN SHALL EPROE THE PUD. THE APPROVAL OF THE PUD MASTER PLAN SHALL EPROE

REVISIONS:

DATE

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APPROVED BY

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CITED HUDAK

IMUM SHALL ADDRESS THE INFORMATION REQUIRED DEVELOPMENT CODE. UNDER

MASTER SITE PLAN/PRELIMINARY

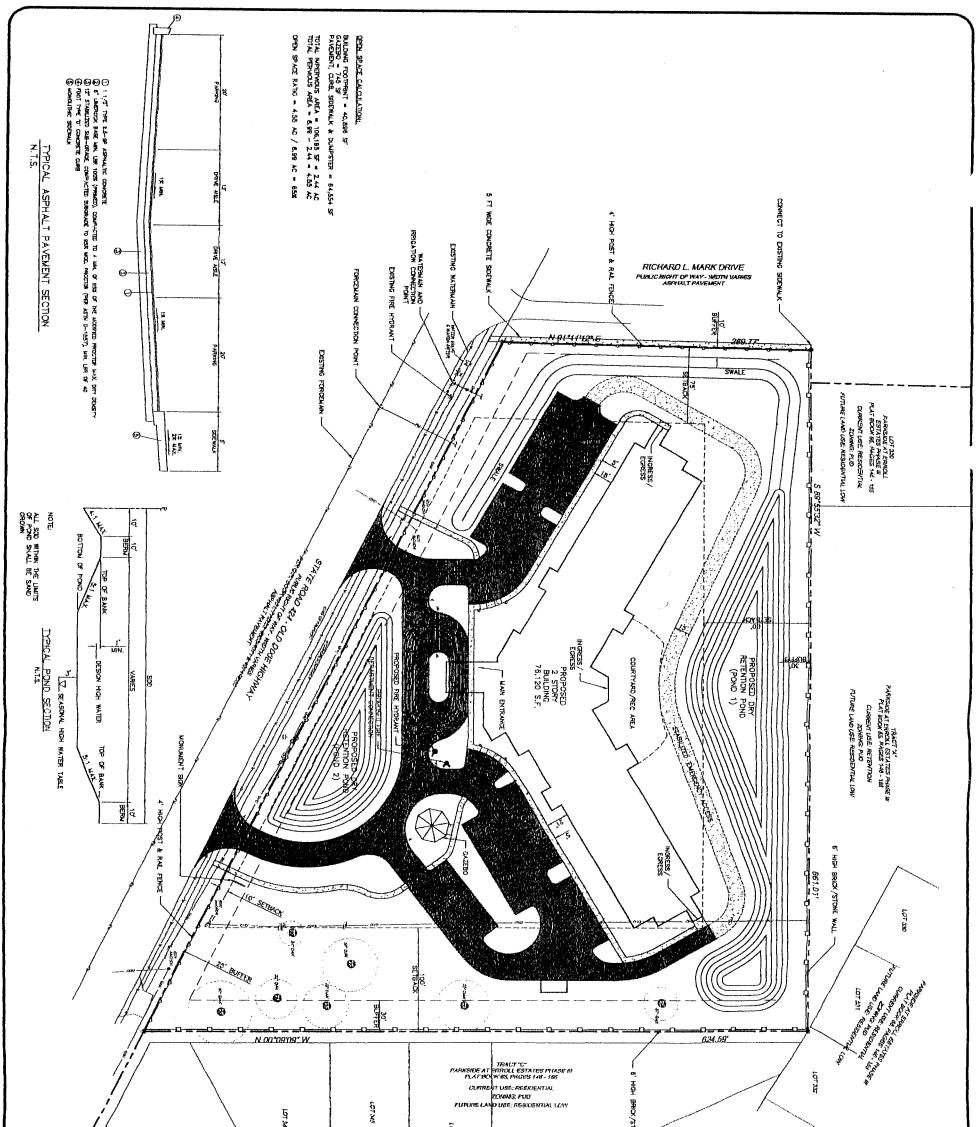
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HUDAK ENGINEERING, INC.

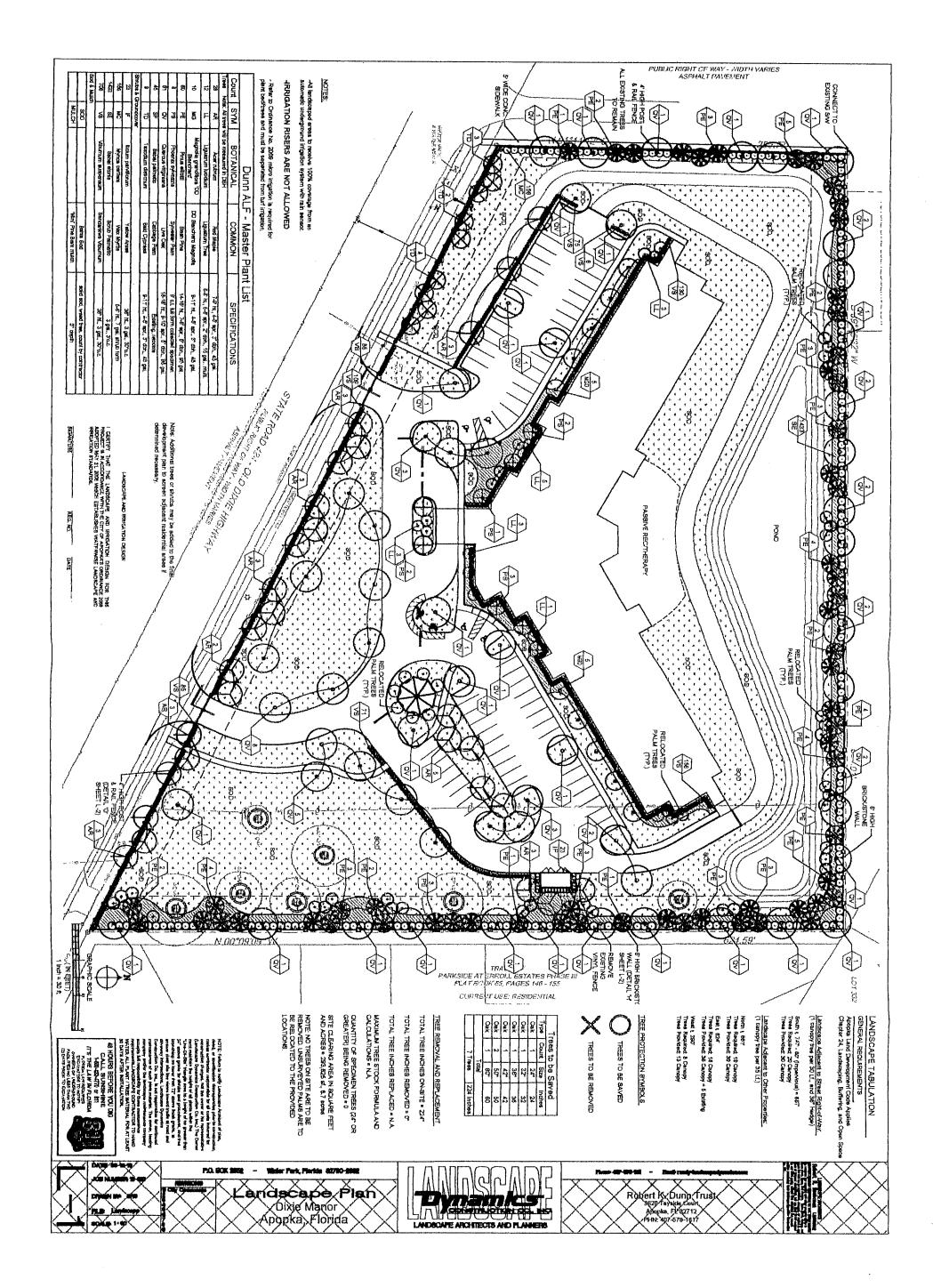
CYA, CHARGENINI & LAND DEVELDANCE IN CONTINUATE OF AUTHORIZATION RUSSI 1344 HARDY AVENUE, ORLANDO, FL 32033 PHORE: (07) 462-4633 EMAR.; ghadab@iwdatxtigineethg.com

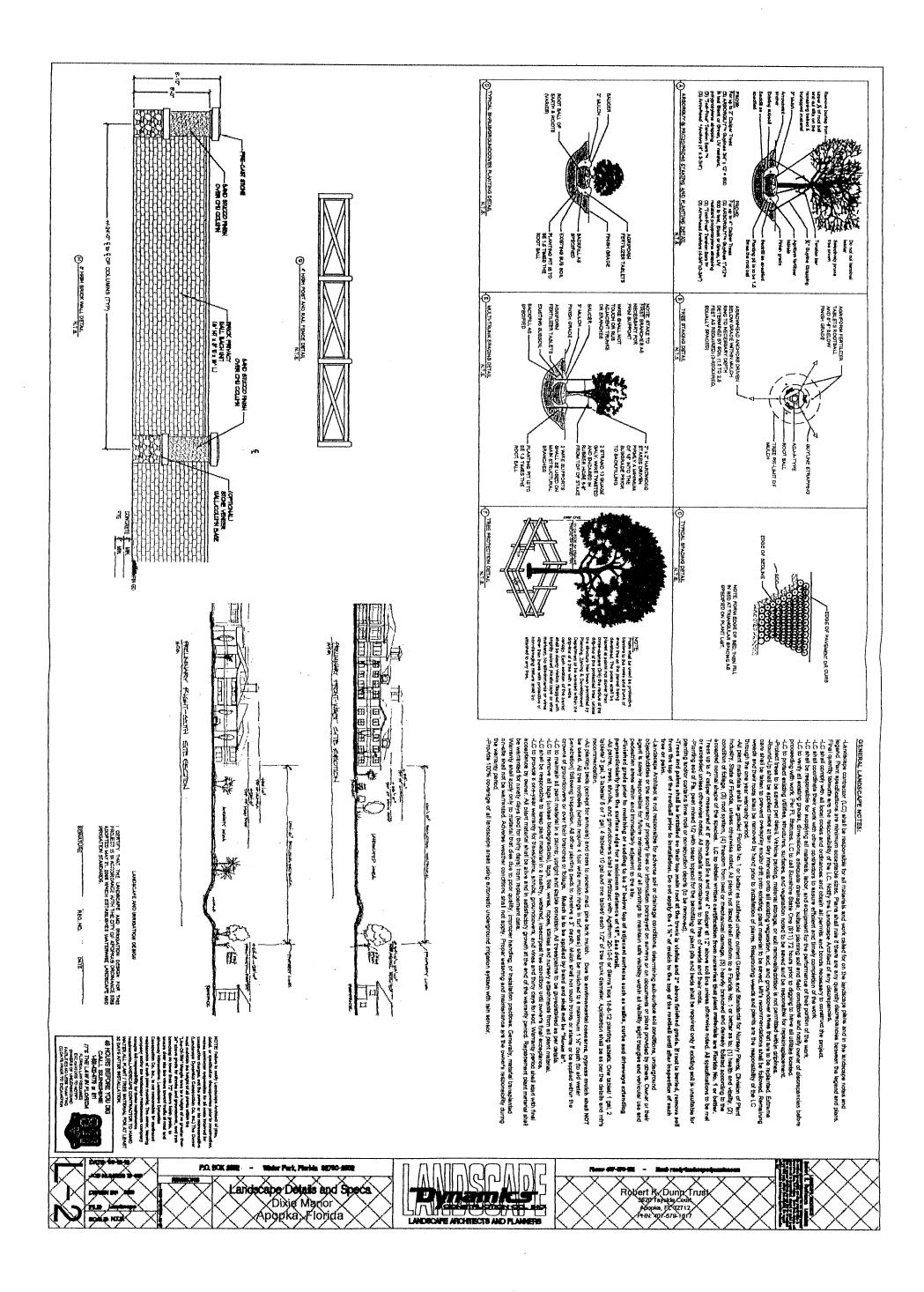


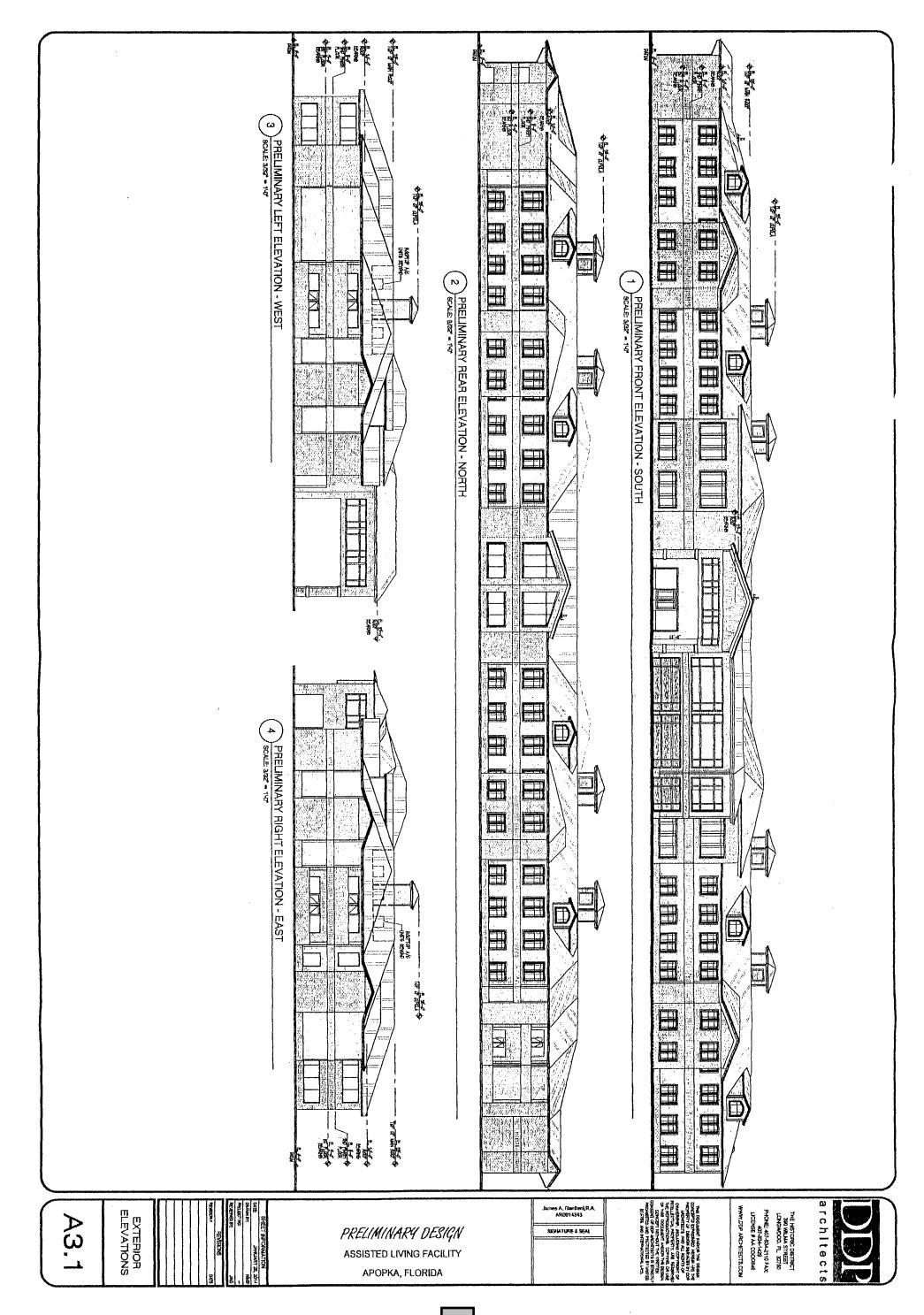
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N O HUDAK ENGINEERING a, D N D N N N A A A A A A A A A A A A A		GREG HAIDAK PE # 541994

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Backup material for agenda item:

4. CHANGE OF ZONING – Orchid Estates Planned Unit Development Master Plan – Owned by JTD Land at Orchid Estates, c/o James Fant and located south of Kelly Park Road, west of Jason Dwelley Parkway. (Parcel ID #s: 18-20-28-0000-00-055 & 18-20-28-0000-00-059



CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING ANNEXATION PLAT APPROVAL OTHER:	FRO	TE: OM: HIBITS:	September 13, 2016 Community Development A: Zoning Report B: Vicinity Map C: Adjacent Zoning Map D: Adjacent Uses Map E: Amended Master Plan/PDP
<u>SUBJECT</u> :	ORCHID ESTATES – AMENDMENT DEVELOPMENT ZONING AND MAST		IID ESTATES PLANNED UNIT
PARCEL ID NUMBERS:	18-20-28-0000-00-055 & 18-20-28-0000-00-0	059	
<u>Request</u> :	RECOMMEND APPROVAL OF THE AN PLANNED UNIT DEVELOPMNET ZON		
SUMMARY			
OWNER/APPLICANT:	JTD Land at Orchid Estates, c/o James H	Fant	
ENGINEER:	Engineering & Environmental Design, I	lnc., c/o La	rry T. Ray P.E.
LOCATION:	South of Kelly Park Road, west of Jasor	n Dwelley	Parkway
EXISTING USE:	Vacant		
FUTURE LAND USE:	Residential Very Low Suburban (0-2 du	/ac)	
CURRENT ZONING:	Planned Unit Development		
PROPOSED AMENDMENT:	Ownership of Tract "B" and "F" will cha Orchid Estates Homeowners Association a City "fire station site" to a "Open Space within the Orchid Estates PUD. No othe	n Land se	for Tract "B" will change from
TRACT SIZE:	Combined total Acreage: 60.82 +/- Total	l Acres	
MAXIMUM ALLOWABLE DEVELOPMENT:	EXISTING: 112 Dwelling Units (as a ordinance; plans expired) PROPOSED: 112 Dwelling Units	pproved w)	ith existing PUD zoning

DISTRIBUTION		
Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	Recreation Director
	Police Chief	Recreation Directo

:\CommDev\PLANNING ZONING\REZONING\2016\Orchid Estates PUD\P 62

ommission 9-13-16

PLANNING COMMISSION – SEPTEMBER 13, 2016 ORCHID ESTATES – PUD AMENDMENT PAGE 2

<u>PROJECT DESCRIPTION</u>: Orchid Estates PUD is located on the west side of Jason Dwelley Parkway, generally south of Spinfisher Drive and north of Apply Lane.

The applicant requests to change the future ownership of Tracts "B" and "F" from the City of Apopka to the Homeowners Association. City staff notified JTD Land at Apopka, LLC several months ago that a fire station site within the project boundaries was not needed because an alternative site was identified, and that the City does not need the 17.2 acre site for open space purposes. JTD Land agreed to amend the PUD Master Plan to change the owner ship of two parcels from City ownership to HOA ownership. Tract "B" was originally proposed to serve as a site for a new City fire station. However, the City has made a decision to locate this new fire station at a more strategic location at a site along the east side of Jason Dwelley Parkway, across from the Northwest Regional Recreation Facility. The City of Apopka owns this preferred site. Orchid Estates is currently under construction, and model homes are proposed to begin construction within a few months. Approval of the amendment to the PUD Master Plan will allow administrative amendment of the Final Development Plan to address the same change in ownership of Tract "B" and Tract "F".

The City's Development Review Committee supports the change in the ownership of Tract "B" and Tract "F" to the homeowners association. Dedication of Tract "F" will require the City to pay for the cost to maintain 17.2 acres of open space that is internal to a residential community. A different site along Jason Dwelley Parkway has been selected for a future fire station. Tract "B" will not be needed for this purpose.

<u>PUD DESCRIPTION</u>: A single family residential community with a total of 112 lots. The minimum lot size is 70' x 115' (8,050 sq. ft.) with a minimum living area of 1,500 square feet as allow by the Land Development Code.

Minimum Sit	7,500 sq. ft.	
Minimum Lo	t Width:	70'
Setbacks:	Front:	25'
	Side:	10'
	Rear:	20'
	Corner:	20'
Minimum Liv	1,500 sq. ft.	

ALLOWABLE USES: Single Family Residential homes and their associated uses.

<u>ACCESS</u>: The subdivision has two access points off of Jason Dwelley Parkway. The property owner has control over the lands adjacent to the north. An ingress/egress easement in favor of the applicant for legal access to the project runs along the southern property line of the Ever Meadow LLC parcel to reach the

STORMWATER: The stormwater management system includes two on-site retention areas. The stormwater design meets the City's Land Development Code requirements.

<u>BUFFER/PARK</u>: The applicant is proposing landscaped buffer areas adjacent to the agricultural uses located to the north and south of the property. This residential community will include a 17.17 acre woodland park and a two-acre tot lot.

TREE PROGRAM: The applicant has proposed reserved 17.17 acres of land for open space within Tract "F" in lieu of going through the tree mitigation process. This will preserve the mostly wooded area on the site as a City Park.

PLANNING COMMISSION – SEPTEMBER 13, 2016 ORCHID ESTATES – PUD AMENDMENT PAGE 3

<u>COMPREHENSIVE PLAN COMPLIANCE</u>: The proposed amendment to the Orchid Estates PUD zoning and Master Plan are consistent with the City's proposed Future Land Use designation. Site development cannot exceed the intensity allowed by the Future Land Use policies.

<u>SCHOOL CAPACITY REPORT</u>: This PUD Master Plan is located on a site with a previously approved Final Development Plan. This final development plan is exempt from school concurrency because it was approved by the City prior to the effective date of school concurrency. School impact fees will be paid with each building permit application for a single family home.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County before any public hearing or advisory board. The City properly notified Orange County on August 12, 2016.

PUBLIC HEARING SCHEDULE:

September 13, 2016 – Planning Commission (5:30 pm) October 5, 2016 – City Council (1:30 pm) - 1st Reading October 19, 2016 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

August 26, 2016 – Public Notice and Notification October 7, 2016 – Ordinance Heading Ad

<u>RECOMMENDED ACTION</u>:

The **Development Review Committee** recommends approval of Amendment to the Orchid Estates Planned Unit Development and the Master Plan.

Recommended Motion: Find the Amendment to the Orchid Estates Planned Unit Development Zoning and the Master Plan to be consistent with the Comprehensive Plan and Land Development Code, and recommend to approve.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting. Role of the Planning Commission in this case is advisory to the City Council.

EXHIBIT "A"

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (County)	Rural (1 du/10 ac)	A-1	Vacant
East (City)	Res. Very Low Suburban (0-2 du/ac)	PUD	Vacant
South (City)	Res. Very Low Suburban (0-2 du/ac)	PUD	SFR (4)
West (City)	Res. Very Low Suburban (0-2 du/ac)	PUD	Oak Ridge Subdivision

LAND USE & TRAFFIC COMPATIBILITY:

A transportation study was prepared with the adopted Orchid Estates PUD, and the number of residential units has not increased. No additional transportation study is needed. The amendment to the PUD zoning and Master Plan does not changes the subdivision design and stormwater management plan, but no increase in residential units or density is proposed.

BUFFERYARD REQUIREMENTS:	No changes to the buffers are proposed with the PUD amendment.
ALLOWABLE USES:	Single-family dwellings and their customary accessory structures and uses in accordance with article VII of this code. Supporting infrastructure and public facilities of less than five acres as defined in this code and in accordance with <u>Section 2.02.01</u> of the LDC.

EXHIBIT "B"

JTD Land at Orchid Estates, c/o Larry Fant 60.82 +/- Total Acres Existing Zoning Maximum Allowable Development: 112 Dwelling Units Proposed Zoning Maximum Allowable Development: up to 112 Dwelling Units Proposed Zoning Change: Amendment to the PUD and Master Plan\Final Development Plan To: "City" Planned Unit Development (PUD/Residential) Parcel ID #s: 18-20-28-0000-00-055 & 18-20-28-0000-00-059



VICINITY MAP



PLANNING COMMISSION – SEPTEMBER 13, 2016 ORCHID ESTATES – PUD AMENDMENT PAGE 6

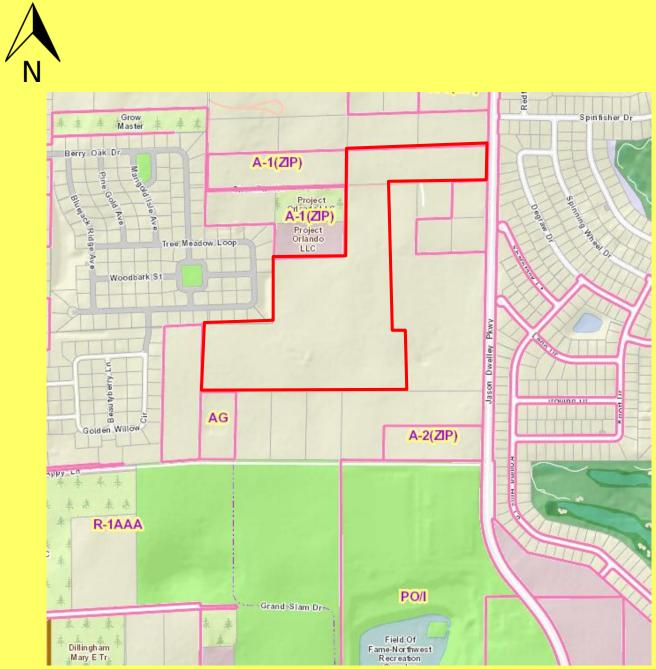
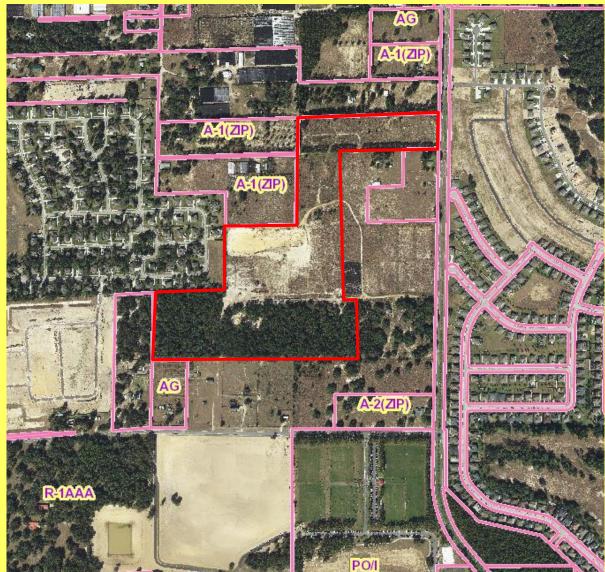


EXHIBIT "C" ADJACENT ZONING

PLANNING COMMISSION – SEPTEMBER 13, 2016 ORCHID ESTATES – PUD AMENDMENT PAGE 7

EXHIBIT "D" ADJACENT USES



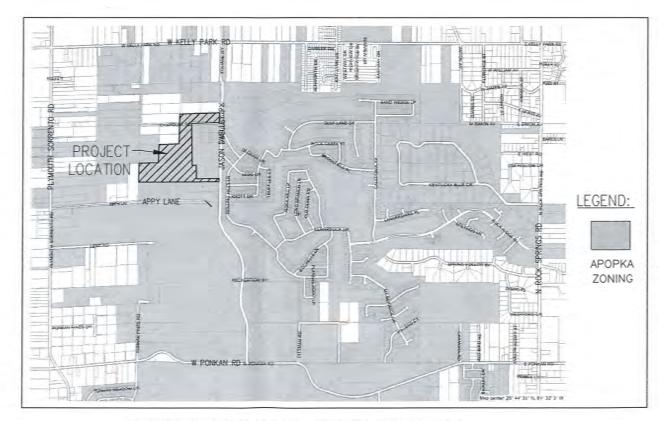


PUD MASTER PLAN FOR ORCHID ESTATES

18-23-28-0000-00-355 18-20-28-0000-00-359 18-20-28-0000-00-117

> FEBRUARY 4, 2010 Revised: JANUARY, 2016

GENERAL LOCATION MAP

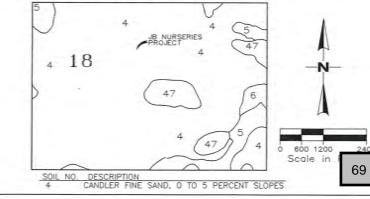


SECTION 18 TOWNSHIP 20S RANGE 28E

18-20-28-0000-00-055 18-20-28-0000-00-059 18-20-28-0000-00-117



I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE ROAD DESIGN ON THESE PLANS IS IN ACCORDANCE WITH THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE FOR STREETS AND HIGHWAYS, STATE OF FLORIDA, (FDOT GREEN BOOK) 2004 AND CITY OF APOPKA REGULATIONS AND SPECIFICATIONS.



PROJECT CONTACTS:

OWNER/DEVELOPER

▲ JTD LAND AT ORCHID ESTATES, LLC 210 S. HOAGLAND BOULEVARD KISSIMMEE, FL 32789

CIVIL ENGINEER

ENGINEERING & ENVIRONMENTAL DESIGN, INC. 940 NORTH FERNCREEK AVENUE ORLANDO, FLORIDA 32803 PHONE: (407) 650-0006 FAX: (407) 648-8338 CERTIFICATION OF AUTHORIZATION NO. 32032 LARRY T. RAY, P.E.

SURVEYOR

SOUTHEASTERN SURVEYING, INC. 6500 ALL AMERICAN BLVD. ORLANDO, FLORIDA 32810-4350 PHONE: (407) 292-8580 FAX: (407) 292-0141 JIM PETERSON

GEOTECHNICAL ENGINEER

YOVAISH ENGINEERING SCIENCES, INC. 953 SUNSHINE LANE ALTAMONTE SPRINGS, FLORIDA 32714 PHONE: (407) 774-9383 FAX: (407) 774-7438 DOUG YOVAISH

SEPERATE OWNER OF 60' TRACT

ROCHELLE HOLDINGS V, LLC. 1900SUMMIT TOWER BLVD. SUITE 820 ORLANDO, FL 32810

DESCRIPTION:

3

A parcel of land lying in the Southeast 1/4 of Section 18, Township 20 South, Range 28 East, Orange County, Florida, being more particularly described as follows:

Begin at the Northeast corner of the Southeast 1/4 of said Section 18; thence, along the North line of said Southeast 1/4, South 88'08'31" West, 922.44 feet; thence departing said North line South 00'55'14" East, 1,401.57 feet; thence North 89'02'58" East, 135.50 feet; thence South 00'55'14" East, 562.93 feet to the South line of the North 3/4 of soid Southeast 1/4; thence along soid South line South 89'46'29' West, 1,948.05 feet to the West line of soid Southeast 1/4; thence along soid West line North 01'19'12'' East, 637.94 feet to the South line of Oak Ridge Subdivision – Phase 1, as recorded in Plat Book 68, Pages 105 through 107, Public Records of Orange Caunty, Florida; thence along soid South line North 89'13'53'' East, 659.46 feet to the East line of said Oak Ridge Subdivision; thence along soid East line North 01'22'25" East, 613.51 feet; thence North 88'09'06" East, 670.93 feet to a point on the East line of the Northwest 1/4 of said Southeast 1/4; thence along said East line North 01*11'56" East, 675.00 feet, to the Northwest corner of the Northeast 1/4 of the Southeast 1/4 of said Section 18; thence, along the West line of the Southeast 1/4 of the Northeast 1/4 of said Section 18, North 01⁻¹²14" East, 324.74 feet; thence, departing said West line, North 88^{-08'14"} East, 1,329.47 feet to the East line of the Northeast 1/4 of said Section 18; thence, along said East line, South 01"05'15" West, 324.81 feet to the POINT OF BEGINNING.

5-60 s

PARCEL ID: 8-20-28-6099-00-240 ZONING: R-1AAA

Containing: 60.82 acres more or less.

念 NOTES: IN LIEU OF REPLACING TREES REMOVED DURING LAND CLEARING (PER SECTION 5.01.01 OF ARBOR ORDINANCE) DEVELOPER SHALL DEDICATE 18.6± ACRES (TRACTS "B" & "F") TO THE HOMEOWNERS ASSOCIATION.

PARCEL ID:

18-20-28-0000-00-054

ZONING: A-1

TRACT B

TOT LOT

A

PARCEL ID:

20-28-0000-00 ZONING: ZIP

LU; SF

LU: NAA

PARCE ID-

ZONING: R-1AAA LU: SF

0-062

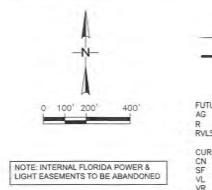
18-20-28-00

PARCEL ID:

18-20-28-0000-00-105

ZONING: A-1

LU: NAA



SITE DATA: 1) OWNERSHIP: JTD LAND AT ORCHID ESTATES.

OWNERSHIP (60' ENTRANCE TH EVER MEADOW LLC

2) PROJECT SIZE: 60.82 AC. = 2,649,245 SG

3) ZONING: EXISTING: R-1AAA PROPOSED: PUD - PLA

4) NUMBER OF RESIDENTIAL LO

5A) <u>EXISTING USE:</u> SINGLE FAMILY RESIDENTIAL

5B) <u>FUTURE LAND USE:</u> RESIDENTIAL VERY LOW SUE FIRE STATION

6) MINIMUM LOT SIZE: 70' X 115'

7) MINIMUM LIVING AREA: 1.500 SF

8) BUILDING SETBACKS: FRONT YARD = 25' (MIN.) REAR YARD = 20° (MIN.) SIDE YARD = 10' (MIN.) CORNER SETBACK = 20'

9) PROJECTED POPULATION: 2.6 PERSONS PER HOUSEH

10) PROJECTED SCHOOL AGE PO NO. OF ELEMENTARY SCHO

NO. OF MIDDLE SCHOOL S NO. OF HIGH SCHOOL STI TOTAL NO. OF STUDENTS

11) FLOOD PLAIN DELINEATION: AREA DETERMINED TO BE 12) WATER/SEWER USAGE:

SEWER ADF = 300 GAL/U WATER ADF = 350 GAL/UN

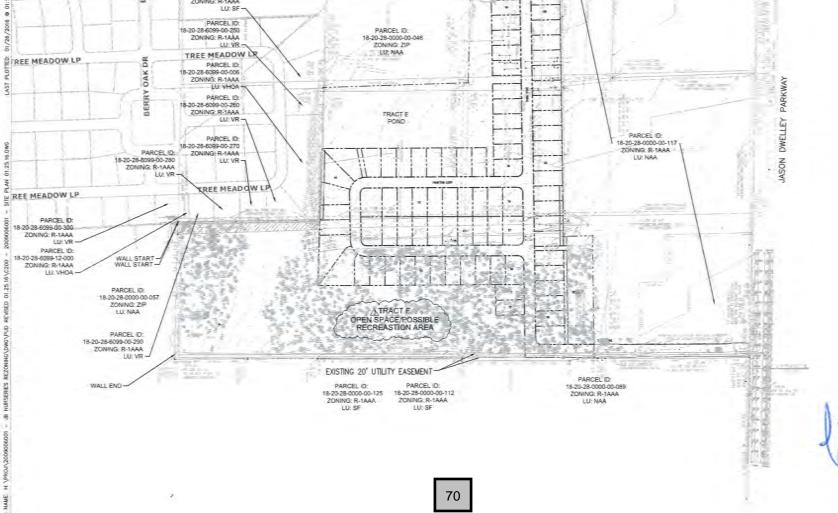
13) PROJECTED AVERAGE DAILY SINGLE FAMILY WEEKDAY T Ln(T) = 0.92Ln(X) +WHERE T = AVERAGE VEHN AVERAGE VEHICLE TRIPS (1

14) DENSITY (RESIDENTIAL): PROPOSED: 1.907 DU/ACRE

15) RIGHT-OF-WAY: 50 FT (MIN.)

16) <u>PARCEL ID's:</u> 18-20-28-0000-00-055 18-20-28-0000-00-059 18-20-28-0000-00-117

17) <u>COMMON OPEN SPACE</u> OPEN SPACE REQUIRED = OPEN SPACE PROVIDED =



PARCEL ID:

18-20-28-0000-00-061

ZONING A-1

U.F. NAA

PARCEL ID:

18-29-28-0000-00-048 ZONING: ZIP

LU: NAA

PARCEL ID:

18-20-28-0000-00-047 20NING: ZIP LU: WAREHOUSING

	7
LEOEND	
LEGEND:	3
RIGHT OF WAY LINE	
PROJECT BOUNDARY	ORCHID ESTATES PD
URE LAND USE (FLU) CLASSIFICATIONS: = AGRICULTURE	
= RURAL (ORANGE COUNTY) S = RESIDENTIAL VERY LOW SUBURBAN	
RENT USE (CU) CLASSIFICATIONS:	
= CONTAINÉR NURSERY = SINGLE FAMILY = VACANT LAND	
= VACANT RESIDENTIAL	Apopka, Florida
	engineering & environmental
, ШС	design inc.
RACT)	Seal/Signature
0. FT.	
ANNED UNIT DEVELOPMENT	
<u>75:</u>	
SUBDIVISION	
BURBAN	
	ISSUED TO BY DATE
MIN.)	
	REV. DATE DESCRIPTION
HOLD X 112 UNITS = 292 PEOPLE	A number of the service tract a use
<u>OPULATION:</u> OL STUDENTS = 0.32 X 112 UNITS = 36	A p1/16 REVISE TRACT F USE
TUDENTS = 0.15 X 112 UNITS = 17	
IDENTS = 0.18 X 112 UNITS = 21 = 74	
0.0000 500 YEAR 5 000 PLAN	
OUTSIDE 500-YEAR FLOOD PLAIN.	
NIT/DAY x 112 = 33,600 GPD NIT/DAY x 112 = 39,200 GPD STREET	
TRAFFIC BASED ON ITE MANUAL: RIP GENERATION: 2.707	
CLE TRIPS, AND X = No. OF UNITS = 112) = 1,151	
E	CONCEPTUAL MASTER
	PLAN
	Sheet Title
	J08 NO.
	SCALE: DATE:
	DESIGN DRAWN:
60.82 AC X 20% = 12.16 AC 17.17 AC	CHECKED:

2 OF

Page 71

Backup material for agenda item:

 PRELIMINARY DEVELOPMENT PLAN - NORTHWEST DISTRIBUTION FACILITY BUILDING "D" – Owned by Oakmont Apopka Road, LLC; applicant is Oakmont Industrial Group c/o Jimmy Stainback. Property located on Ocoee Apopka Road between S.R. 451 and Ocoee-Apopka Road and east of Boy Scout Road. (Parcel ID #s: 17-21-28-5953-03-000; 17-21-28-5953-04-000)



CITY OF APOPKA PLANNING COMMISION

<u>X</u> PUBLIC HEARING
ANNEXATION
PLAT APPROVAL
<u>X</u> OTHER: Preliminary Development Plan

MEETING OF: September 13, 2016 FROM: Community Development EXHIBITS: Vicinity/Aerial Map Site/Landscape Plans Building Elevations Alternative Parking Plan

PROJECT:PRELIMINARY DEVELOPMENT PLAN – SITE PLAN
NORTHWEST DISTRIBUTION FACILITY BUILDING "D"

<u>Request</u>:

RECOMMEND APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN FOR THE NORTHWEST DISTRIBUTION FACILITY BUILDING "D"

SUMMARY:

OWNER:	Oakmont Apopka Road, LLC
APPLICANT:	Oakmont Industrial Group c/o Jimmy Stainback
ENGINEER:	Highland Engineering, Inc. c/o Jeffery W. Banker, PE
ARCHITECT:	GMA Architects
LOCATION:	Ocoee Apopka Road (Between S.R. 451 and Ocoee-Apopka Road and east of Boy Scout Road)
PARCEL ID #:	17-21-28-5953-03-000 and 17-21-28-5953-04-000
LAND USE:	Industrial
ZONING:	I-1
EXISTING USE:	Vacant Land
PROPOSED USE:	Industrial Warehouse (167,270 S.F.) w/ Office Complex (13,730 S.F.)
TRACT SIZE:	16.43 +/- acres
OVERALL SITE:	45.09 +/- acres
BUILDING SIZE:	180,000 sq. ft.

DISTRIBUTION

Mayor Kilsheimer Commissioners (4) City Administrator Irby Community Dev. Director

Finance Director HR Director IT Director Police 0 72 Public Ser. Director City Clerk Fire Chief Recreation Director

Direction	Future Land Use	Zoning	Present Use
North (City)	Industrial	I-1	Northwest Distribution Center Bldg. A and B
East (City)	Expressway	N/A	State Road 451
South (City)	Expressway	N/A	State Road 414
West (City)	Mixed Use	A-1(ZIP)	Vacant Property
West (County)	Rural	A-1	

RELATIONSHIP TO ADJACENT PROPERTIES:

<u>ADDITIONAL COMMENTS</u>: The Northwest Distribution Facility Building D - Preliminary Development Plan proposes an 180,000 square feet industrial warehouse and office space.

PARKING: A total of 187 parking spaces are provided (330 required by code) of which 6 are reserved as a handicapped parking space. The applicant has requested to defer and waive 143 of the parking space requirement for the site. In accordance with 6.03.02.D, the applicant has provided a deferred parking plan providing a total of 333 parking space for the site. A parking study has been prepared by the applicant to demonstrate that the requested number of parking spaces meets the demand by to accommodate vehicles for employees and customers.

ACCESS: Access to the site is provided by a two (2) driveway cuts along Ocoee-Apopka Road.

EXTERIOR ELEVATIONS: The height of the proposed building is 40' (top of parapet wall). The City approved a variance on October 10, 2006 for the overall building height for this project not to exceed 50'. The proposed height 40' is well below the maximum that could be built. Staff has found the proposed building elevations to be in accordance with the City's Development Design Guidelines.

STORMWATER: Stormwater run-off and drainage will be accommodated by a master stormwater drainage system. The master stormwater management system is designed according to standards set forth in the Land Development Code.

BUFFER/TREE PROGRAM: A twenty-five foot landscape buffer is provided along Ocoee-Apopka Road and State Road 451. The applicant has provided a detailed landscape and irrigation plan for the property. The planting materials and irrigation system design are consistent with the water-efficient landscape standards set forth in Ordinance No. 2069.

Total inches on-site:	3719
Total number of specimen trees:	0
Total inches removed	2308
Total inches retained:	1411
Total inches replaced:	528
Total inches post development:	1939
Site Clearing Acres	8.7

PUBLIC HEARING SCHEDULE:

September 13, 2015 - Planning Commission (5:30 pm)September 21, 2015 - City Council (7:00 pm)73

<u>RECOMMENDED ACTION</u>:

The **Development Review Committee** recommends approval of the **Northwest Distribution Facility Building D** – Revised Final Development Plan, subject to the findings of this staff report.

Planning Commission Recommendation: Recommend approval of the Northwest Distribution Facility Building D – Preliminary Development Plan, subject to the findings of this staff report.

Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Application: Owner: Applicant: Engineer: Parcel I.D. No: Location: Acres:



Preliminary Development Plan Oakmont Apopka Road Property, LLC Oakmont Industrial Group c/o Jimmy Stainback Highland Engineering, Inc. c/o Jeffery W. Banker, PE 17-21-28-5953-03-000; 17-21-28-5953-04-000 Ocoee-Apopka Road 16.43 +/-

VICINITY MAP



Application: Owner: Applicant: Engineer: Parcel I.D. No: Location: Acres: Preliminary Development Plan Oakmont Apopka Road Property, LLC Oakmont Industrial Group c/o Jimmy Stainback Highland Engineering, Inc. c/o Jeffery W. Banker, PE 17-21-28-5953-03-000; 17-21-28-5953-04-000 Ocoee-Apopka Road 16.43 +/-

AERIAL MAP





FOR

(MAJOR) PRELIMINARY SITE DEVELOPMENT PLAN NORTHWEST DISTRIBUTION FACILITY - BUILDING D

Site Data Summary and Notes

$T \cap t_{i}$							
	al Property Area:	45.09 Acres (*					
-	ect Area This Pha						
I. Zon	ung: ure Land Use:	I-1 Restricted Industrial	Industrial				
	posed Uses:		ouse Distribution:				
<u>, 1 10</u>	BUILDING #	EMPLOYE	ES OF	FICE (SF)	WAREHOU	SE (SF)	TOTAL (SF)
	D				167,27	70	180,000
*** 7. Proj 6. Floc 9. Site 0. N	 Upon initial op Upon 2 years Upon 2 years ect Phasing: or Area Ratio (FAF and Building Req laximum Building I a. Maximum: 5 b. Proposed: 4 laximum Imperviou a. Maximum A b. Impervious I 	Maximu of occupancy: T M T R): 0 uirements: 0 Height: 50 Feet , A variance 40 Feet us Coverage: Imper us Coverage: Imper llowable: 0.80 x 4 From Previous Phas	umber of projected of im number of emploi fotal number of proj faximum number of the project will be co .60 Max, 0.10 provi tity of Apopka's Lan was approved by the rvious coverage sha to 2.09 Acres = 3 ses: = 2	employees = 11 oyees for largest ect employees for onstructed in 1 p ded this phase d Development he City Land De all not exceed 80 6.07 Acres (809 2.80 Acres (519	0 t shift = 75 = 160 largest shift = 90 ohase. plus previous ph Code and Deve velopment Revie 0 percent of the f) ases. lopment Desig ew Board on C	gn Guidelines Dctober 10, 2006.
	c. Impervious	<u>Pave</u> SubT	o <u>ment = 5</u> Total = 1	4.13 Acres 6 <u>.95 Acres</u> 0.08 Acres (229 2.88 Acres (739			
2. P	arking Space Req	uirements:					
		uirements:	PROVIDED	REQ		ROVIDED	TOTAL SPACES
	UILDING #	REQUIRED PARKING	PARKING	REQ HANDICA PARKI	PPED H	ANDICAP PARKING	PROVIDED
В	UILDING #	REQUIRED PARKING 330	PARKING 175	HANDICA PARKI 6	PPED H, NG P	ANDICAP	
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PREPARED FOR OAKMONT INDUSTRIAL GROUP

3520 Piedmont Rd., Suite 100 Atlanta, Georgia 30305 Ph: 404-869-9990 Direct: 404-869-9952 Fax: 404-869-9996 Contact: Jimmy Stainback

OWNER OF RECORD

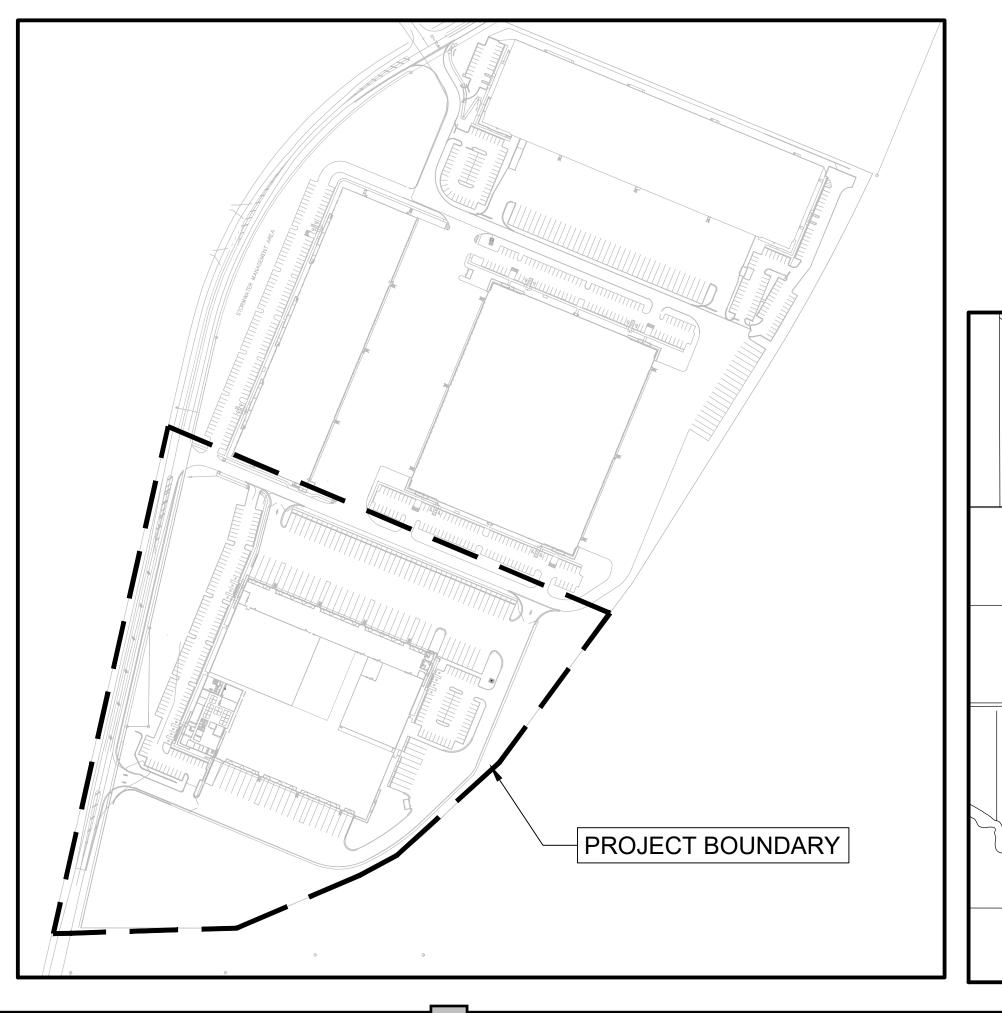
OAKMONT APOPKA ROAD LLC 3520 Piedmont Rd., Suite 100 Atlanta, Georgia 30305 Ph: 404-869-9990

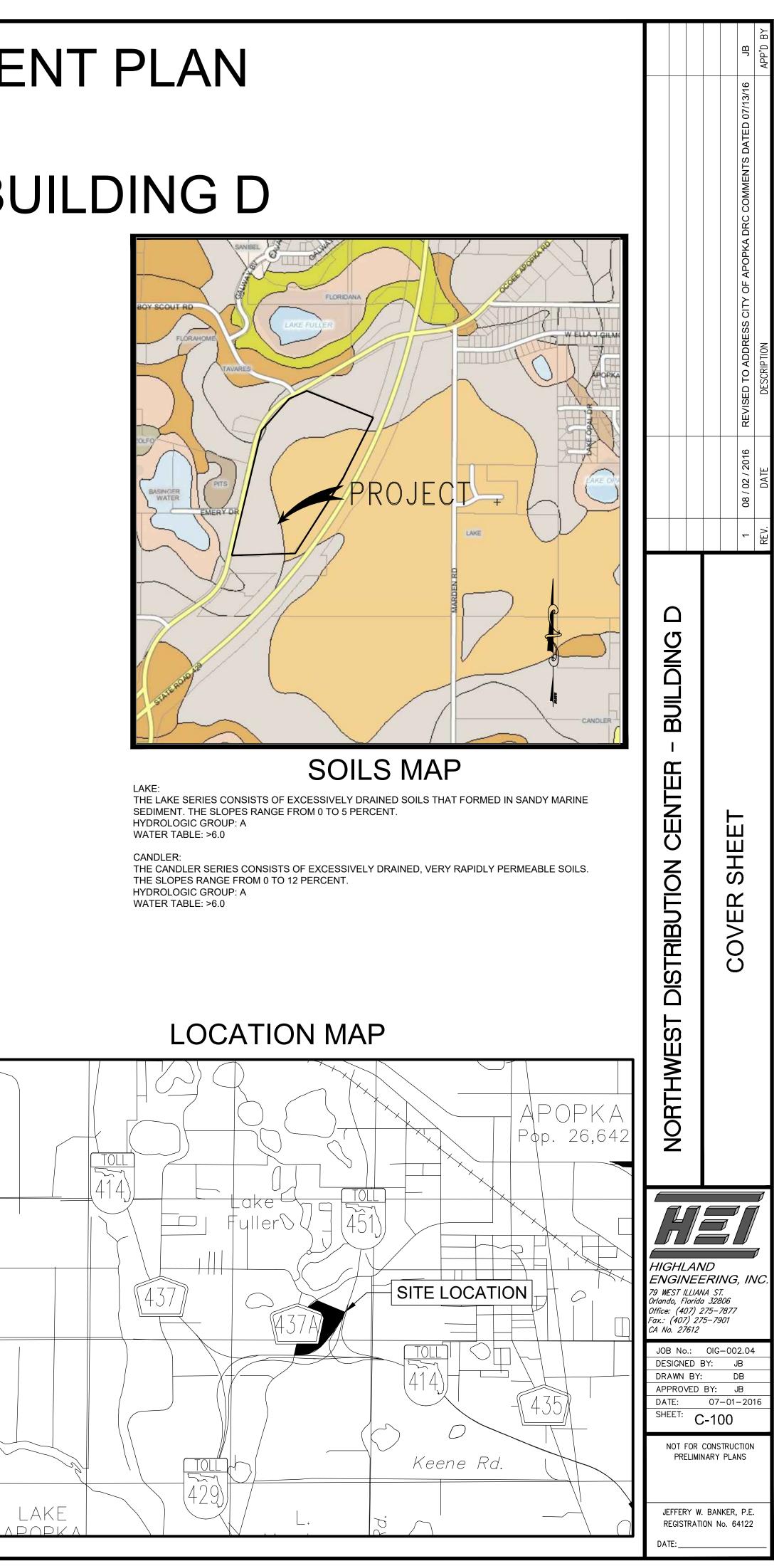
SHEET INDEX

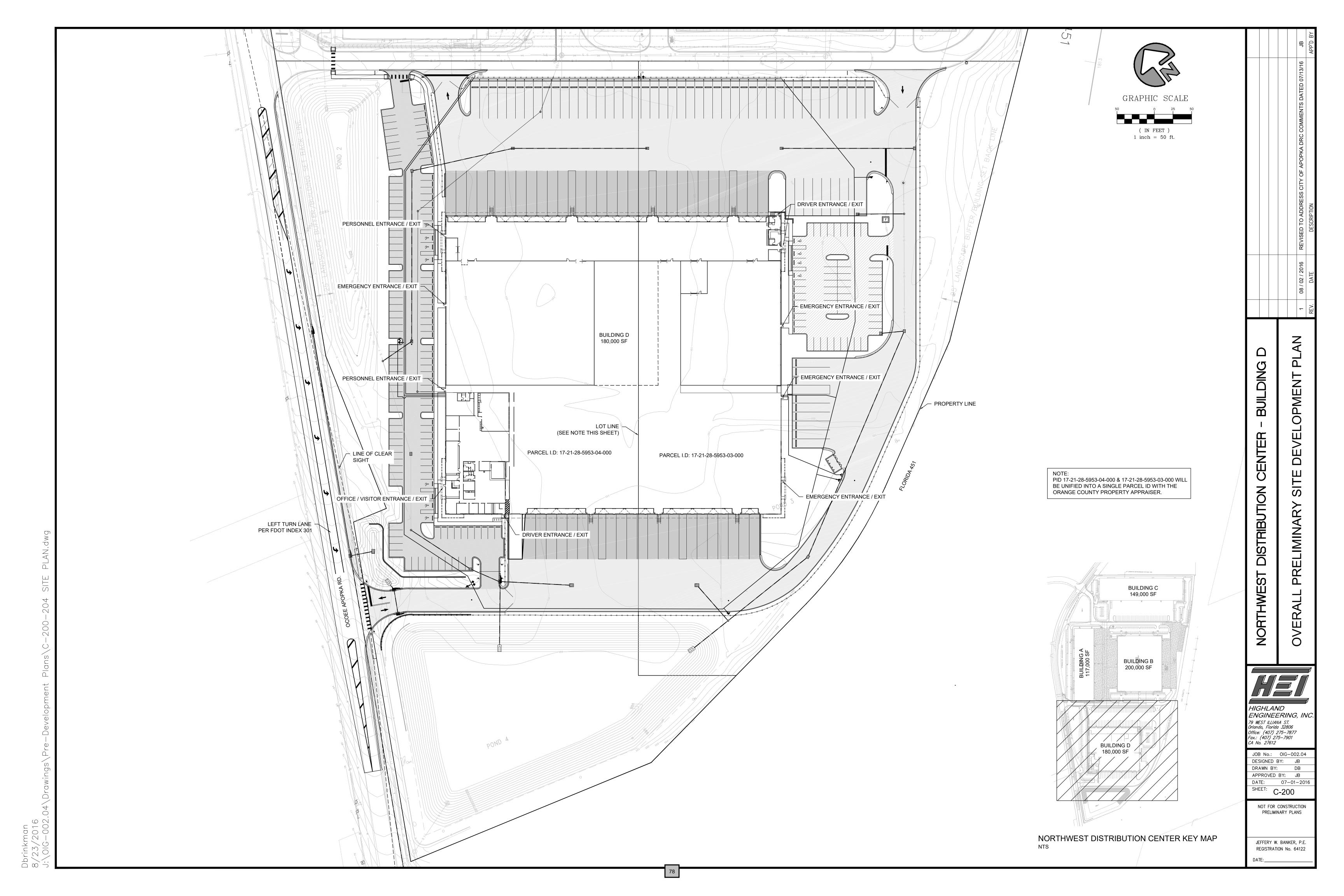
C-100	COVER SHEET
C-200	OVERALL PRELIMINARY SITE DEVELOPMENT PLAN
C-201	PRELIMINARY SITE DEVELOPMENT PLAN
C-202	PRELIMINARY SITE DEVELOPMENT PLAN
C-203	PRELIMINARY SITE DEVELOPMENT PLAN
C-204	PRELIMINARY SITE DEVELOPMENT PLAN
C-300	GENERAL DETAILS
C-301	GENERAL DETAILS
C-302	BUILDING AND DIRECTIONAL SIGN PLAN (PREVIOUSLY APPROVED BY THE CITY)
L-1 THRU L-5	PRELIMINARY LANDSCAPE PLAN
EP01, EP02	PRELIMINARY PHOTOMETRIC PLAN
S1 THRU S5	SURVEY
A-5.1, A-5.2	BUILDING ELEVATIONS

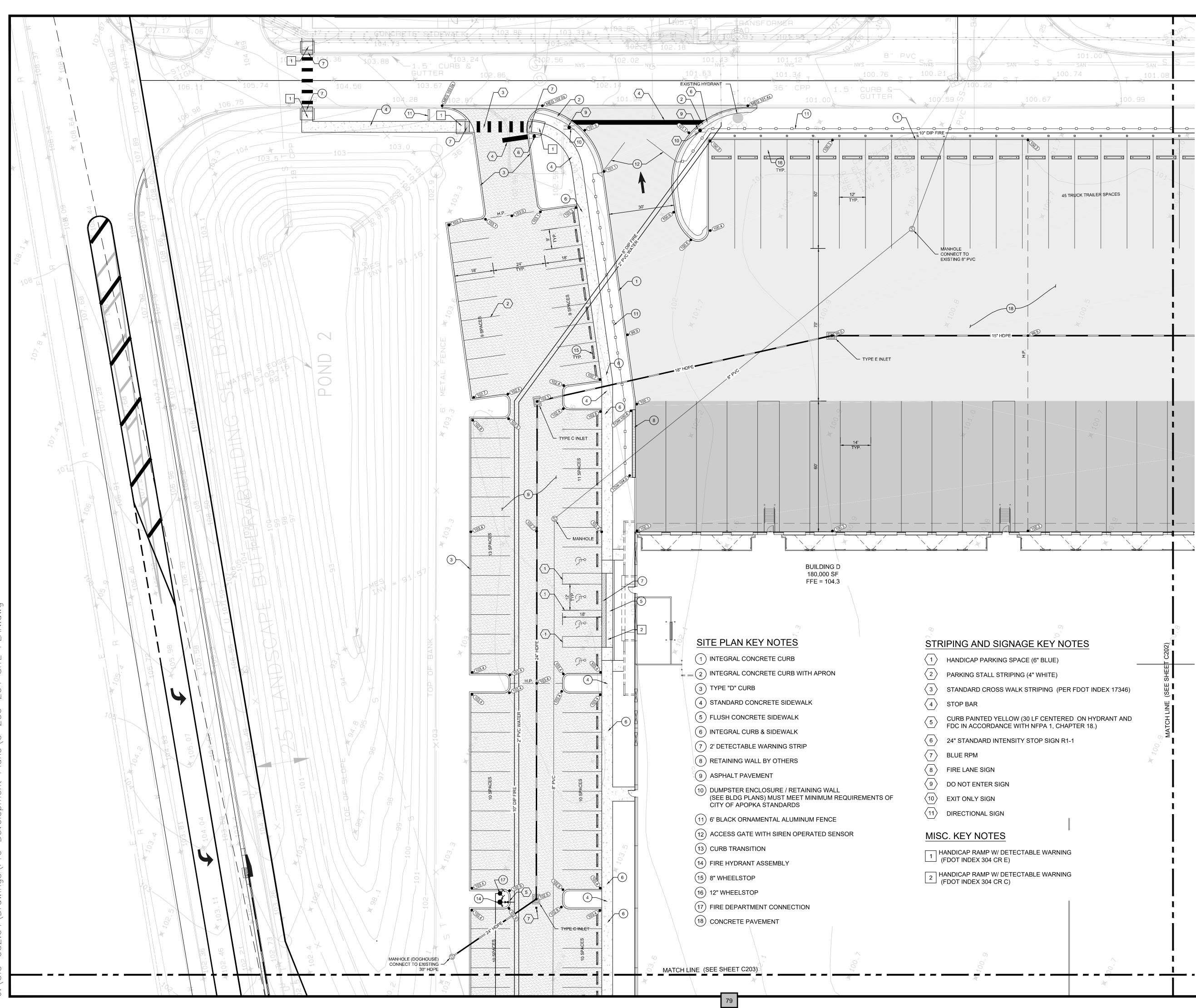
LAKE

OVERALL SITE LAYOUT PLAN SEC. 17, TSP 21S, R 28E. APOPKA, FLORIDA

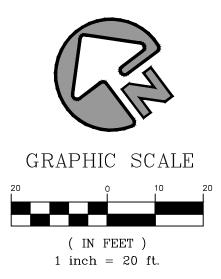




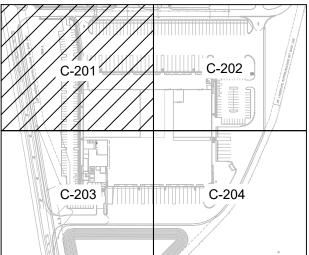




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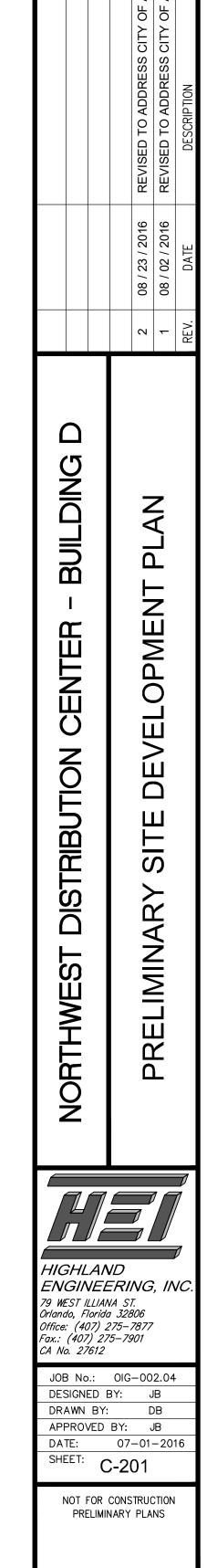
KEY MAP NTS



LEGEND / ABBREVIATIONS

		7" HEAVY DUTY CONCRETE PAVEMENT
		6" CONCRETE DOCK PAVEMENT
		ASPHALT PAVEMENT
		CONCRETE SIDEWALK
-0		FENCING
	BSL	BUILDING SETBACK LINE
	LB	LANDSCAPE BUFFER
	RPM	REFLECTIVE PAVEMENT MARKER
	H.P.	HIGH POINT
	PIV	POST INDICATOR VALVE

FDC FIRE DEPARTMENT CONNECTION

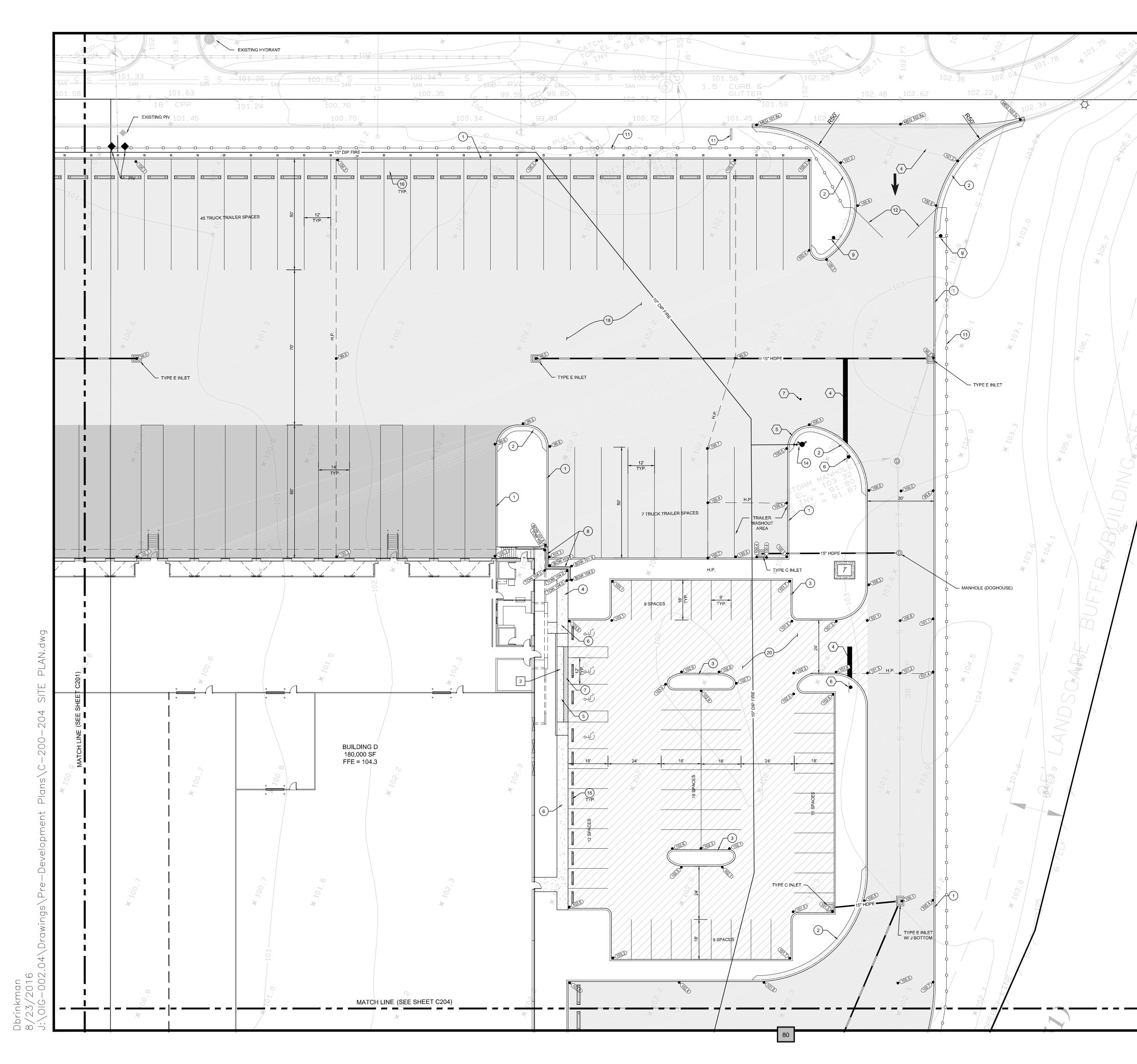


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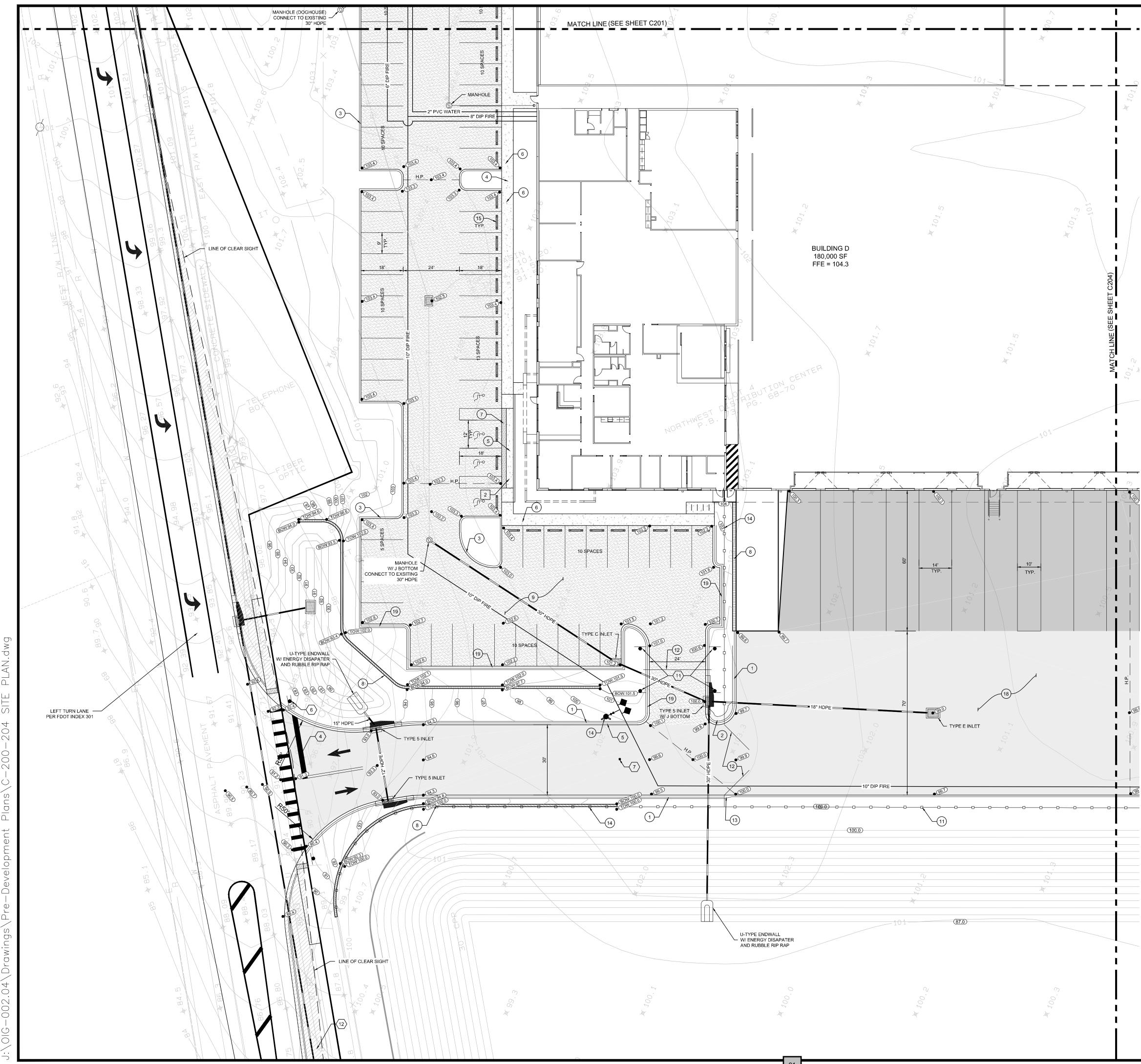
PKA DRC

APOP

JEFFERY W. BANKER, P.E. REGISTRATION No. 64122 DATE: ____



E 30 100 100 100 100 100 100 100 1			0/16 JB 3/16 JB APP'D BY
	GRAPHIC SCALE		DATED 07/10/16 DATED 07/13/16
×	(IN FEET) 1 inch = 20 ft.		COMMENTS I COMMENTS I
× 100 × 100 ×	KEY MAP NTS		REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/10/16 REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/13/16 DESCRIPTION
	LEGEND / ABBREVIATIONS		
108 108 108	7" HEAVY DUTY CONCRETE PAVEMENT		08 / 23 / 2016 08 / 02 / 2016 DATE
	6" CONCRETE DOCK PAVEMENT		2 0 REV.
	PERVIOUS CONCRETE PAVEMENT		
	CONCRETE SIDEWALK		
16.	BSLBUILDING SETBACK LINELBLANDSCAPE BUFFERRPMREFLECTIVE PAVEMENT MARKERH.P.HIGH POINTPIVPOST INDICATOR VALVEFDCFIRE DEPARTMENT CONNECTION	BUILDING D	AN
	SITE PLAN KEY NOTES	BUI	OPMENT PLAN
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K	3 TYPE "D" CURB	CENTER	ME
	4 STANDARD CONCRETE SIDEWALK		ОР
	 (5) FLUSH CONCRETE SIDEWALK (6) INTEGRAL CURB & SIDEWALK 		ΪĹ
	7 2' DETECTABLE WARNING STRIP	DISTRIBUTION	DEVEI
	8 RETAINING WALL BY OTHERS	Ĕ	
	 (9) ASPHALT PAVEMENT (10) DUMPSTER ENCLOSURE / RETAINING WALL 		PRELIMINARY SITE
	(SEE BLDG PLANS) MUST MEET MINIMUM REQUIREMENTS OF CITY OF APOPKA STANDARDS	DTF	0) ≻
	(11) 6' BLACK ORNAMENTAL ALUMINUM FENCE		Ω Δ
	 (12) ACCES GATE WITH SIREN OPERATED SENSOR (13) CURB TRANSITION 	L L	N
	(14) FIRE HYDRANT ASSEMBLY	NORTHWEST	Σ
	15 8" WHEELSTOP		SEI
	(16) 12" WHEELSTOP		Ы
	 (18) CONCRETE PAVEMENT (20) PERVIOUS CONCRETE PAVEMENT 	Ž	
	STRIPING AND SIGNAGE KEY NOTES		
	1 HANDICAP PARKING SPACE (6" BLUE)		
	 (2) PARKING STALL STRIPING (4" WHITE) (3) STANDARD CROSS WALK STRIPING (PER FDOT INDEX 17346) 		
	$\langle 3 \rangle$ STANDARD CROSS WALK STRIPING (PER FDOT INDEX 17346) $\langle 4 \rangle$ STOP BAR	HIGHLAN	ND ERING, INC.
	5 CURB PAINTED YELLOW (30 LF CENTERED ON HYDRANT AND FDC IN ACCORDANCE WITH NFPA 1, CHAPTER 18.)	79 WEST ILLIAI Orlando, Florido Office: (407) 2	NA ST. a 32806
	$\left< \frac{6}{6} \right>$ 24" STANDARD INTENSITY STOP SIGN R1-1	Fax.: (407) 27 CA No. 27612	75–7901
	T BLUE RPM	JOB No.: DESIGNED	OIG-002.04 BY: JB
	$\left< \frac{8}{9} \right>$ FIRE LANE SIGN $\left< \frac{9}{9} \right>$ DO NOT ENTER SIGN	DRAWN BY	BY: JB
	$\langle 10 \rangle$ EXIT ONLY SIGN	DATE: SHEET: C	07–01–2016 C-202
	11 DIRECTIONAL SIGN		CONSTRUCTION NARY PLANS
	MISC. KEY NOTES		
	1 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR E)		. BANKER, P.E.
	2 HANDICAP RAMP W/ DETECTABLE WARNING	REGISTRAT	10N No. 64122



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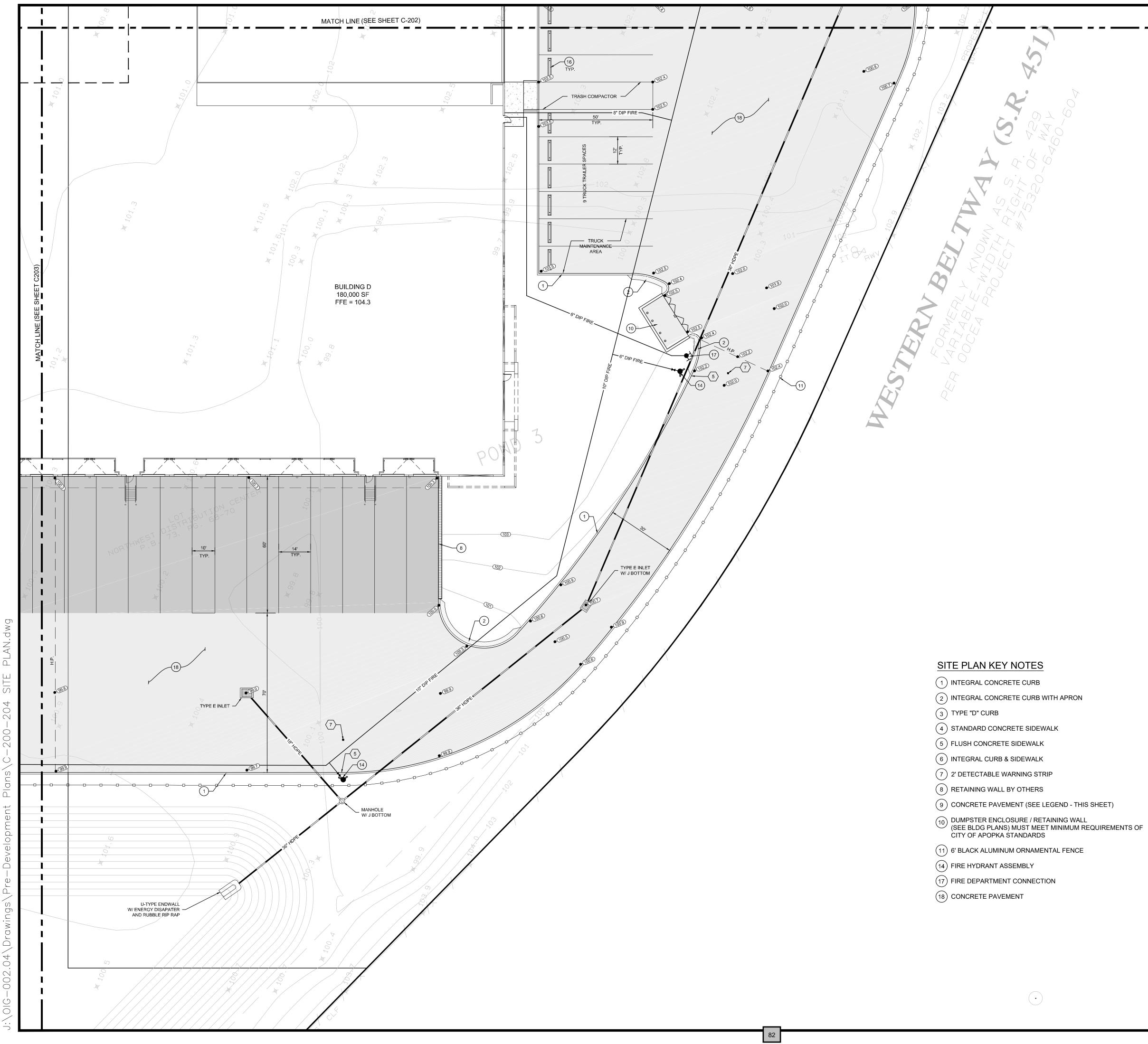
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		JB JB Vac
CR		07/10/16 07/13/16
GRAPHIC SCALE		DATED
(IN FEET) 1 inch = 20 ft.		COMMENTS COMMENTS
KEY MAP NTS		A DRC
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LEGEND / ABBREVIATIONS		/ 2016 / 2016 / ^{TE}
7" HEAVY DUTY CONCRETE PAVEMENT		08 / 23/ 20 08 / 02 / 2
6" CONCRETE DOCK PAVEMENT		~ ~ Ž
ASPHALT PAVEMENT		
CONCRETE SIDEWALK		
	BUILDING D	
BSL BUILDING SETBACK LINE LB LANDSCAPE BUFFER	U U	
RPM REFLECTIVE PAVEMENT MARKER		7
H.P. HIGH POINT PIV POST INDICATOR VALVE		A
FDC FIRE DEPARTMENT CONNECTION		Ц
SITE PLAN KEY NOTES 1 INTEGRAL CONCRETE CURB	1	'ELOPMENT PLAN
2 INTEGRAL CONCRETE CURB WITH APRON		M
3 TYPE "D" CURB	N CENTER	Ъ
4 STANDARD CONCRETE SIDEWALK	Ι Ū	
5 FLUSH CONCRETE SIDEWALK	0	Ш
6 INTEGRAL CURB & SIDEWALK	Z	
7 2' DETECTABLE WARNING STRIP	DISTRIBUTIC	Ō
8 RETAINING WALL BY OTHERS	15	ш
9 ASPHALT PAVEMENT (SEE DETAIL SHEET C-300)		
(11) 6' BLACK ORNAMENTAL ALUMINUM FENCE		
(12) CHAINLINK FENCE GATE	<u>N</u>	
(13) CURB TRANSITION		A
(14) FIRE HYDRANT ASSEMBLY	U U U	\leq
(15) 8" CURB STOP	μÜ	\geq
(17) FIRE DEPARTMENT CONNECTION	≨	
18 CONCRETE PAVEMENT	NORTHWEST	PRELIMINARY SITE
(19) MODIFIED TYPE F CURB	L H	
STRIPING AND SIGNAGE KEY NOTES	ĬŽ	
1 HANDICAP PARKING SPACE (6" BLUE)		
$\left< \frac{2}{2} \right>$ PARKING STALL STRIPING (4" WHITE)		L
$\overline{3}$ STANDARD CROSS WALK STRIPING (PER FDOT INDEX 17346)		
$\langle 4 \rangle$ STOP BAR		
5 CURB PAINTED YELLOW (30 LF CENTERED ON HYDRANT AND FDC IN ACCORDANCE WITH NFPA 1, CHAPTER 18.)		ERING, INC
6 24" STANDARD INTENSITY STOP SIGN R1-1	79 WEST ILLIAN Orlando, Florida	a 32806
7 BLUE RPM	Office: (407) 2 Fax.: (407) 22 CA No. 27612	75—7901
$\left< \frac{1}{8} \right>$ FIRE LANE SIGN	JOB No.:	0IG-002.04
$\sqrt{9}$ DO NOT ENTER SIGN	DESIGNED	BY: JB
$\langle 10 \rangle$ EXIT ONLY SIGN	DRAWN BY	BY: JB
(11) EMERGENCY VEHICLE ONLY	DATE: SHEET:	07–01–2016 C-203
$\langle 12 \rangle$ TRUCK TRAFFIC FIRST RIGHT, PASSENGER CARS SECOND RIGHT		
		CONSTRUCTION NARY PLANS
MISC. KEY NOTES	-	
1 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR E)		. BANKER, P.E.

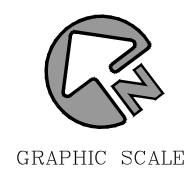
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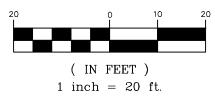
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2 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR C)

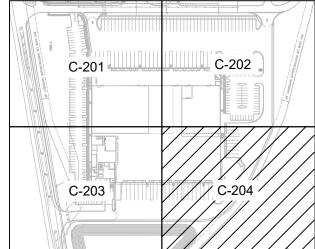


SITE $\mathbf{4}$ \bigcirc 04/ 07 20 20 -





KEY MAP NTS



LEGEND / ABBREVIATIONS

	7" HEAVY DUTY CONCRETE PAVEMENT
	6" CONCRETE DOCK PAVEMENT
	ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	FENCING
BSL	BUILDING SETBACK LINE
LB	LANDSCAPE BUFFER

- RPM REFLECTIVE PAVEMENT MARKER
- H.P. HIGH POINT PIV POST INDICATOR VALVE
- FDC FIRE DEPARTMENT CONNECTION

STRIPING AND SIGNAGE KEY NOTES

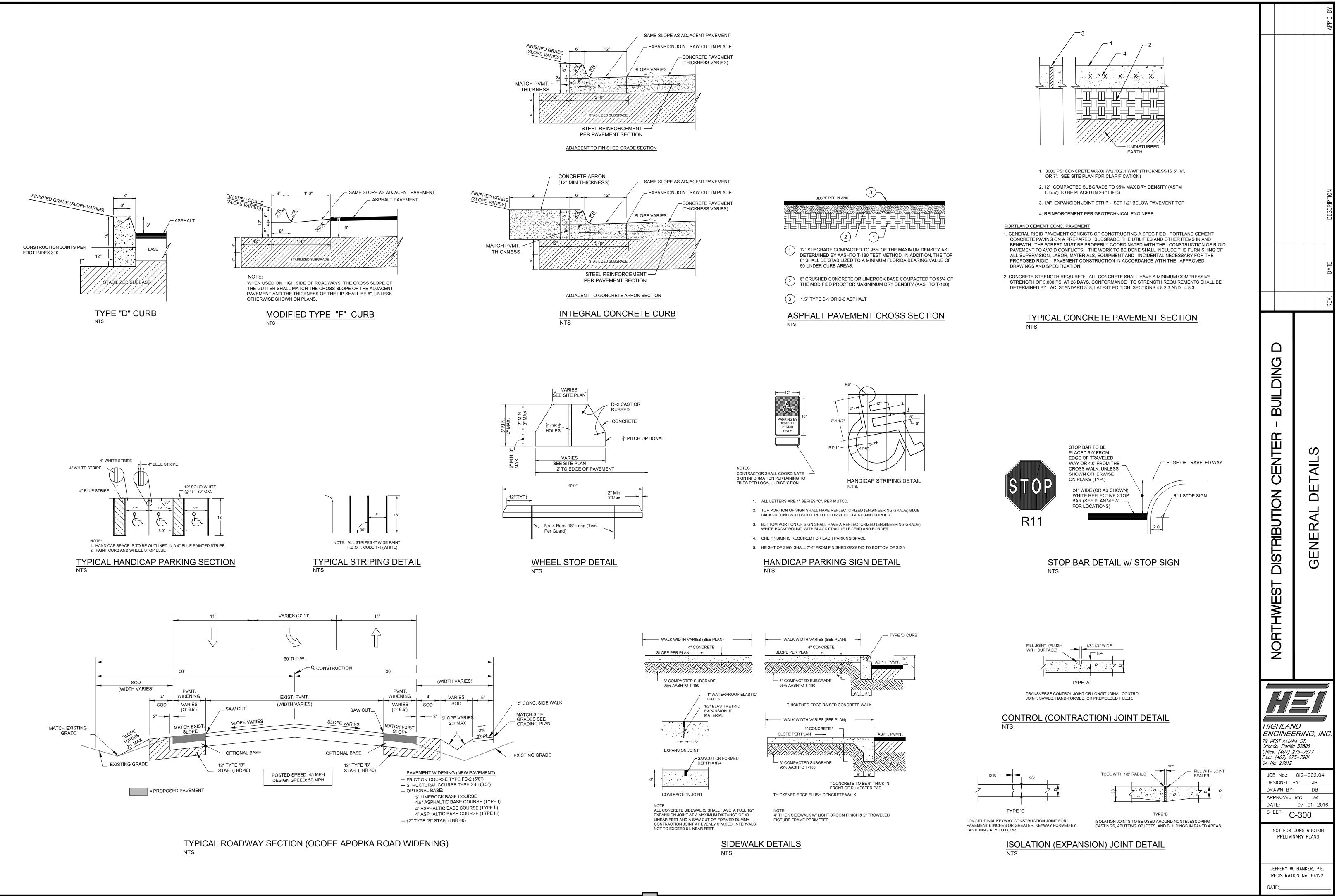
- 1 HANDICAP PARKING SPACE (6" BLUE)
- 2 PARKING STALL STRIPING (4" WHITE)
- 3 STANDARD CROSS WALK STRIPING (PER FDOT INDEX 17346)
- 4 STOP BAR
- 5 CURB PAINTED YELLOW (30 LF CENTERED ON HYDRANT AND FDC IN ACCORDANCE WITH NFPA 1, CHAPTER 18.)
- 6 24" STANDARD INTENSITY STOP SIGN R1-1
- 7 BLUE RPM
- 8 FIRE LANE SIGN

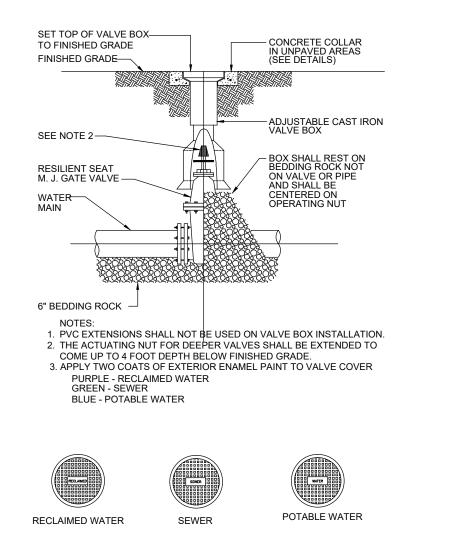
MISC. KEY NOTES

- 1 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR E)
- 2 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR C)

		JB	JB	APP'D BY
		REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/10/16	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/13/16	DESCRIPTION
		08 / 23 / 2016	08 / 02 / 2016	DATE
		2	-	REV.
NORTHWEST DISTRIBUTION CENTER - BUILDING D				
HIGHLAN ENGINEE 79 WEST ILLIAN Orlando, Florida Office: (407) 27 Fax.: (407) 27 CA No. 27612 JOB No.: DESIGNED E DRAWN BY:	R <i>A</i> <i>328</i> <i>75–75</i> <i>75–75</i> OIG BY: BY:	7. 306 7877 901 — 00	2.04 IB IB	
APPROVED	~ -	-01	-20	ıю́
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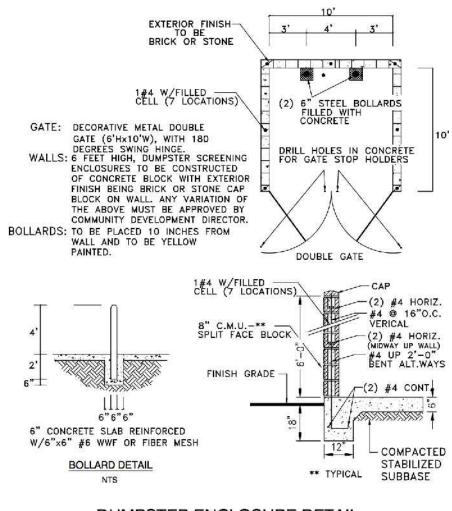
-FINISHED GRADE

COMMON FILL

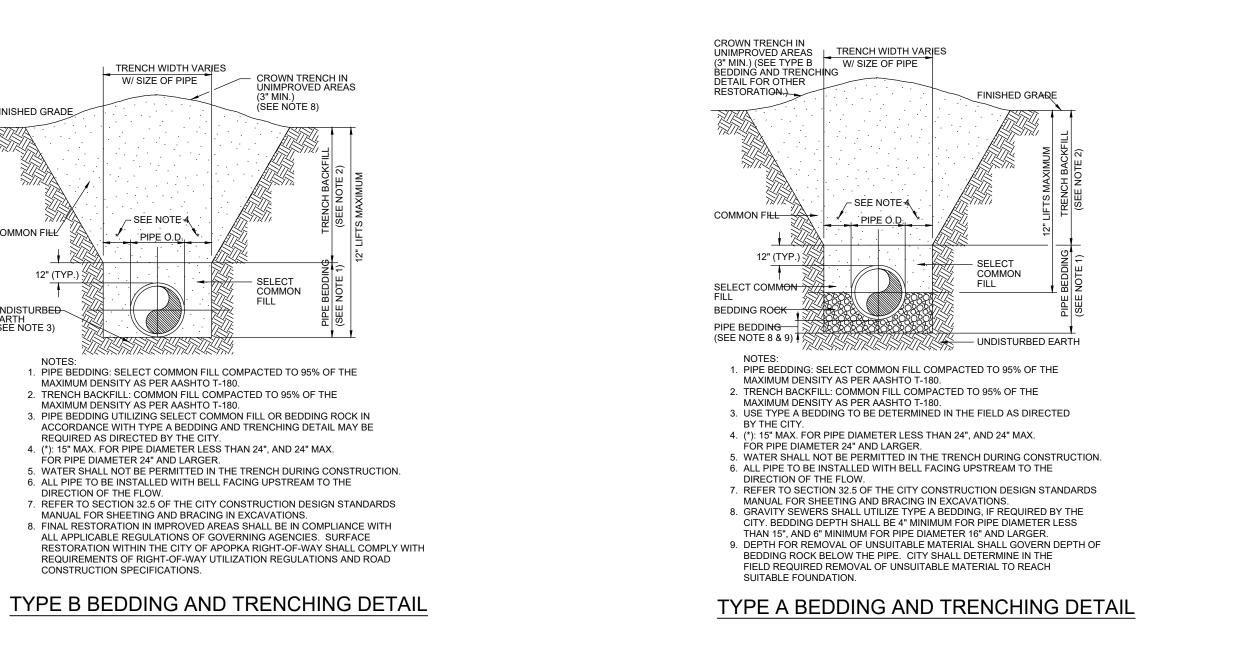
UNDISTURBED EARTH (SEE NOTE 3)

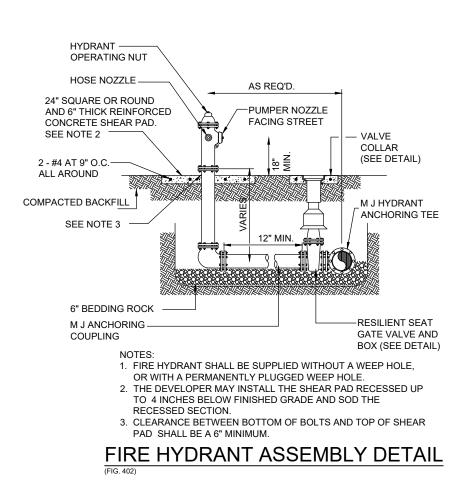
NOTES











MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S). *									
				F	PIPE SIZ	E			
	6"	8"	10"	12"	16"	18"	20"	24"	30"
90° BEND	36	36	36	54	54	72	72	90	
45° BEND	18	18	18	18	36	36	36	36	
22-1/2 BEND	18	18	18	18	18	18	18	18	
11-1/4 BEND	18	18	18	18	18	18	18	18	
PLUG OR BRANC OF TEE	H 18	36	36	54	90	108	108	144	

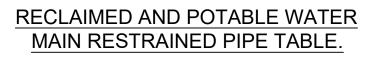
NOTES 1. FITTINGS SHALL BE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED. 2. INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO

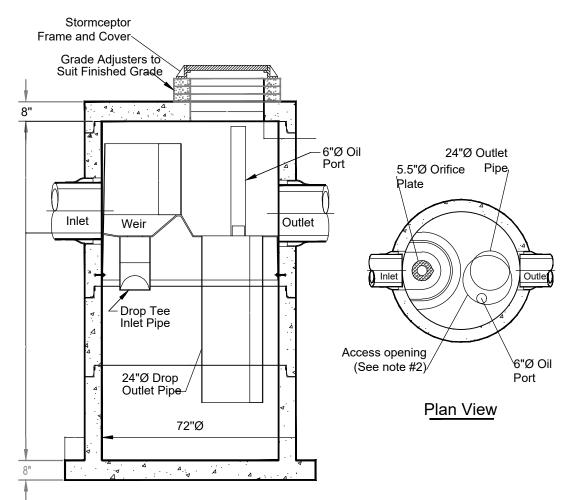
- OR GREATER THAN SHOWN IN THE TABLE.
- WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
 IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE
- RESTRAINED UNLESS OTHERWISE INDICATED. 5. LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, WITH THE FOLLOWING ASSUMPTIONS: WORKING PRESSURE: _______ P.S.I.*

SOIL DESIGNATION: SAND / SILT

LAYING CONDITIONS: ______ "4" BEDDING *

6. FOR PIPE ENCASED IN POLYETHYLENE, USE VALUES GIVEN IN PARENTHESES OR INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5. * TO BE COMPLETED BY THE ENGINEER.





Section Thru Chamber

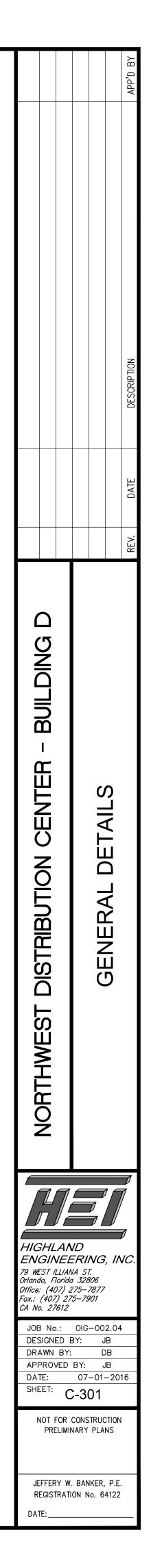
Notes:

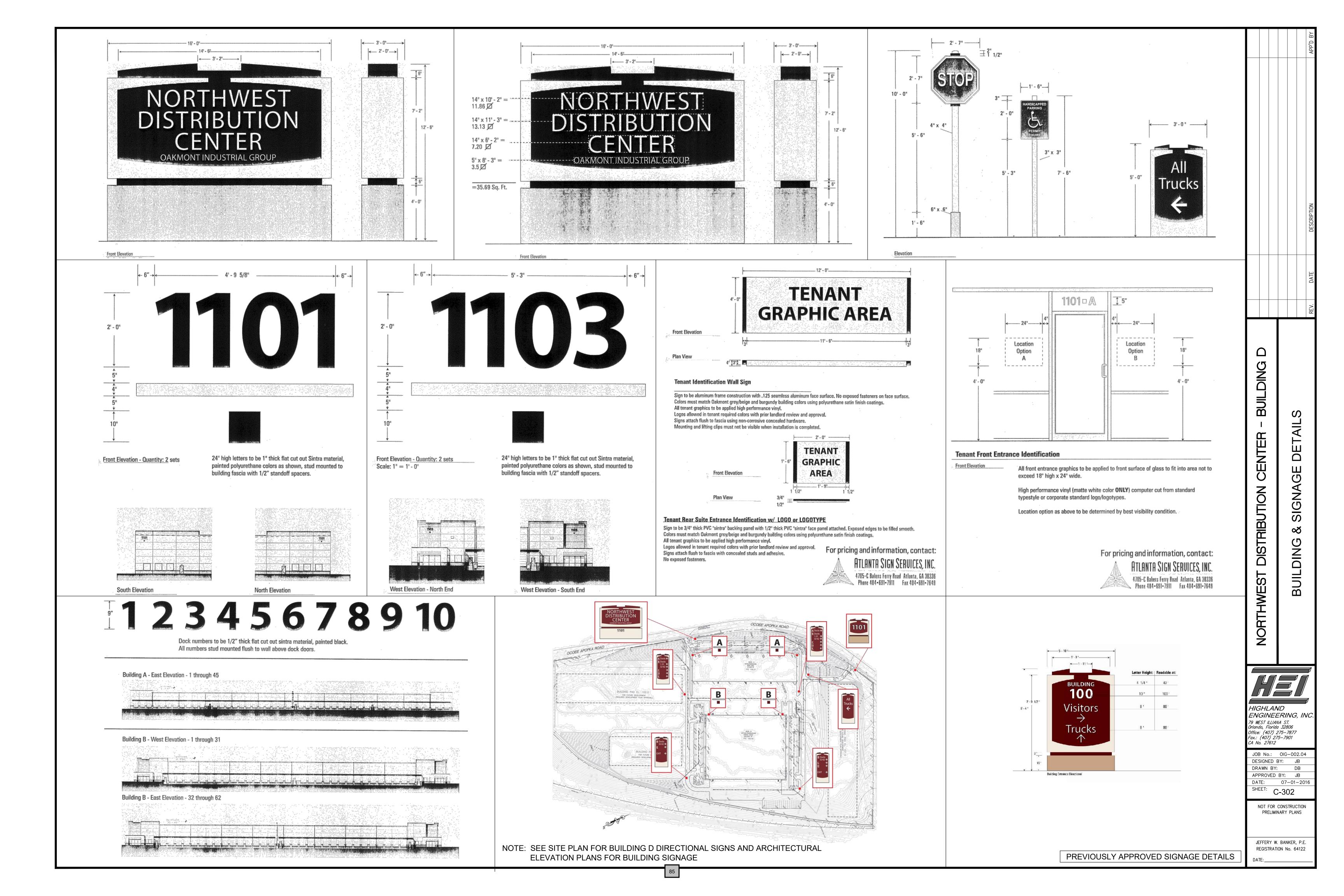
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable. 2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.

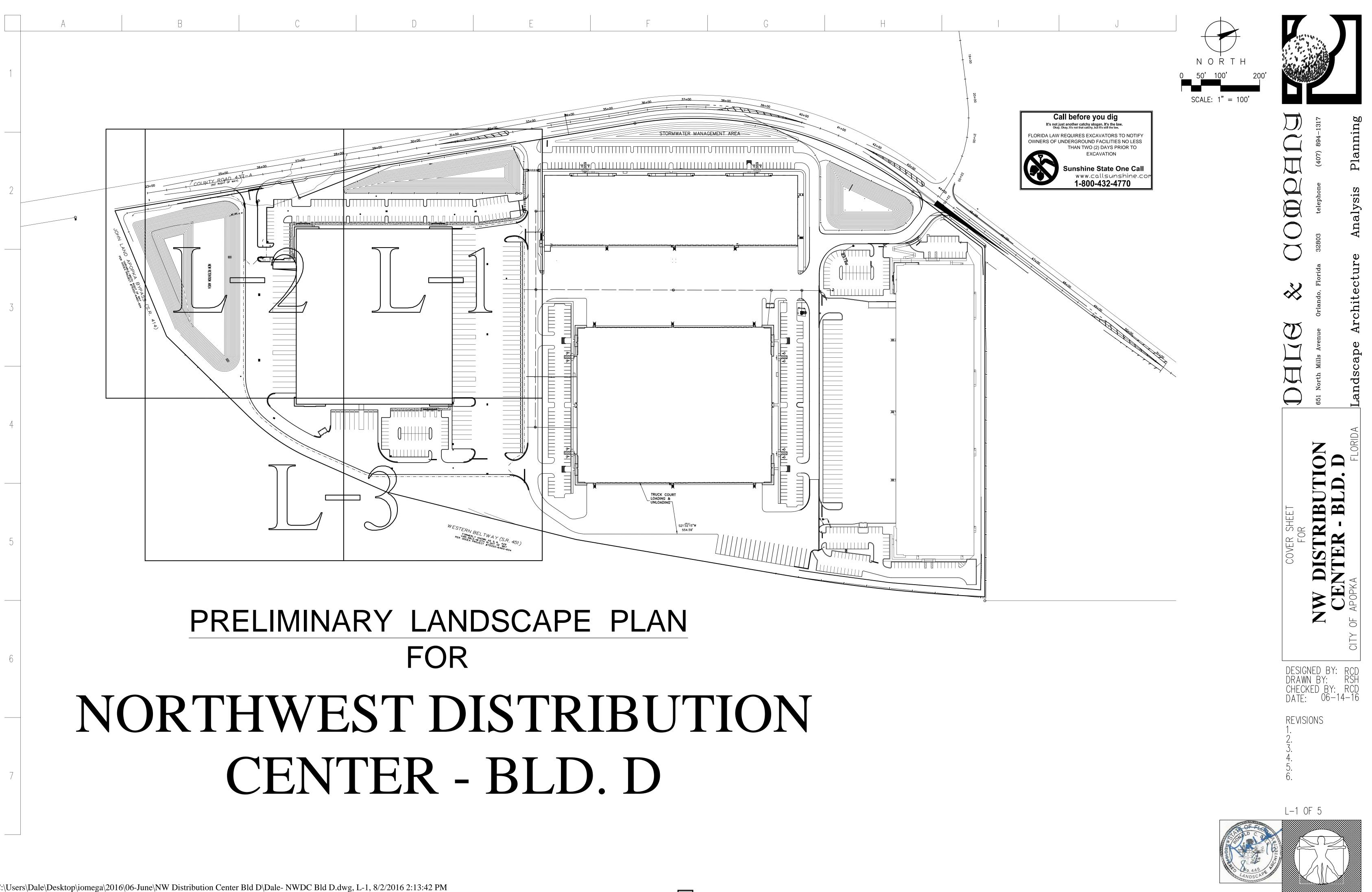
3. The Stormceptor System is protected by one or more of the following U.S. Patents: #5753115, #5849181, #6068765, #6371690, #7582216, #7666303.

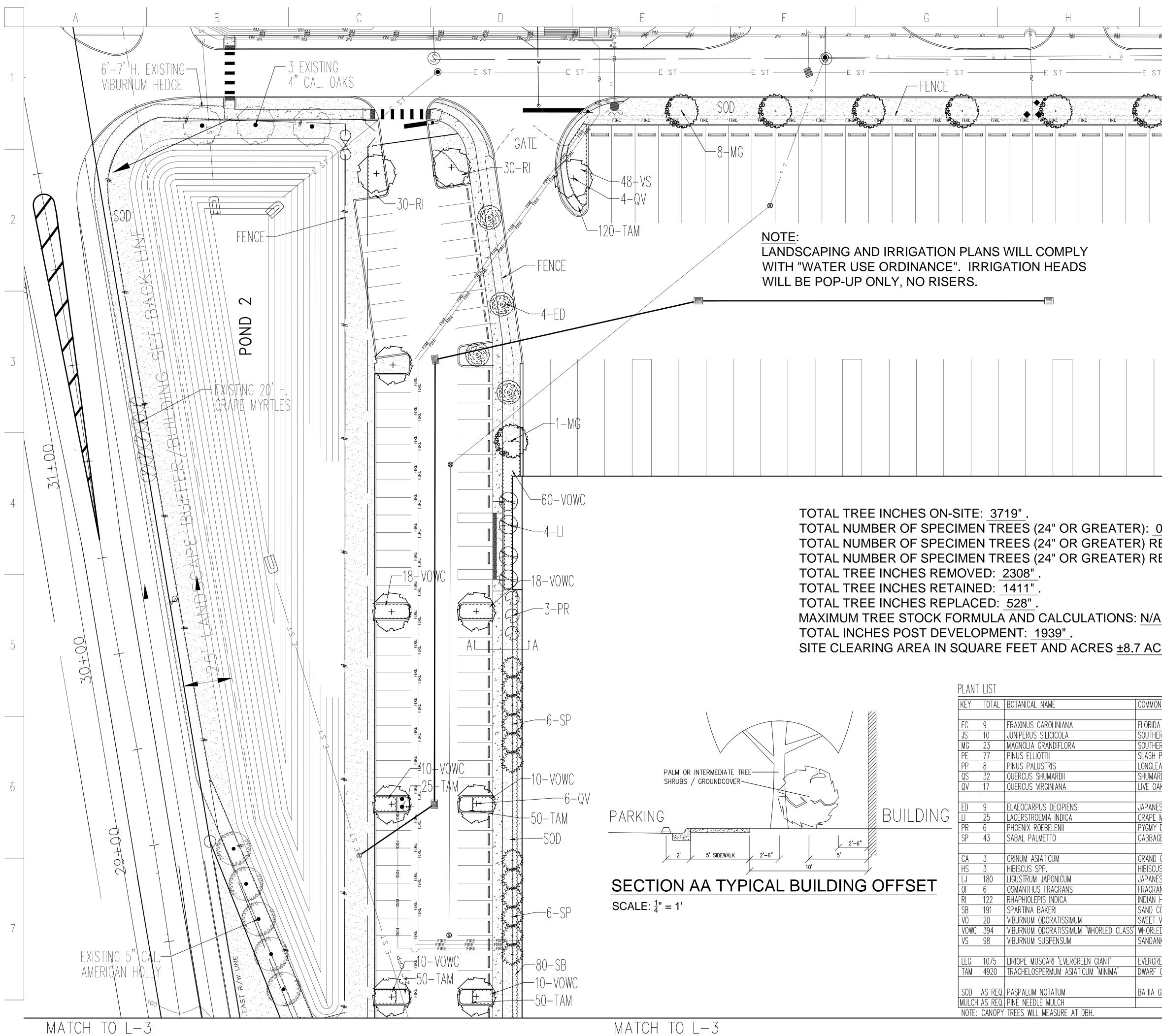
4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

EOS 18-1000 Precast Concrete Stormceptor (1000 U.S. Gallon Oil Capacity) EOS 012715





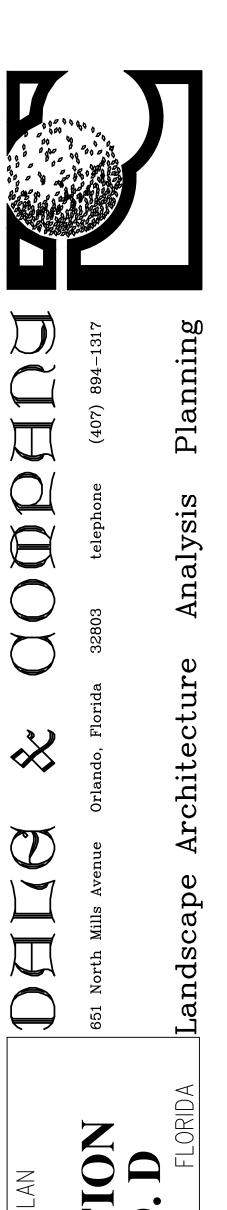


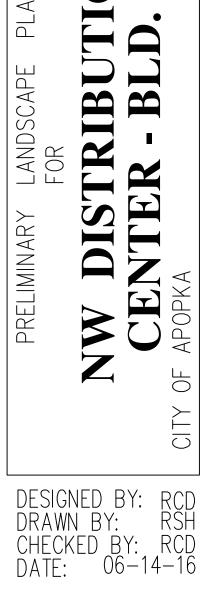


MATCH TO L-3

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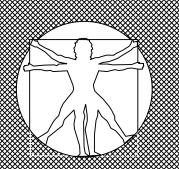
I			.	
	ن ن <u>ن</u> ن ن		i i -	N O R T H
	E ST		EST-	0 15' 30' 6
		FIRE		SCALE: 1" = 30'
	E Sunshir www	y slogan. It's the law. hy, but It's still the law. XCAVATORS TO	oless R TO e Call hine.com	
				MATCH TO
N/A				
OMMON NAME ORIDA ASH OUTHERN RED CEDAR OUTHERN MAGNOLIA ASH PINE INGLEAF PINE IUMARD RED OAK /E OAK	SIZE,HEIGHT,WD 2.5" DBH 10'-1 2.5" DBH 10'-1	2'H. 2'H. LOW 2'H. MEDIUM 2'H. 2'H. LOW 2'H. LOW	NE FLORIDA NATIVE NATIVE NATIVE NATIVE NATIVE NATIVE	
PANESE BLUEBERRY RAPE MYRTLE GMY DATE PALM ABBAGE PALMETTO	8'-10' H. 12' H. M.T. 6' H. D.T. 15 G. 16'-24' C.T.	LOW MEDIUM	NATIVE	
AND CRINOM LIET BISCUS PANESE PRIVET AGRANT OLIVE DIAN HAWTHORN ND CORDGRASS VEET VIBURNUM HORLED CLASS VIBURNUM	7 GAL. 7 GAL. 36" H. 30" O.C. 7 GAL. 15"-18" H. 30" O.C. 30" H. 30" O.C. 24" H. 30" O.C. 15"-18" H. 30" O.C. 24" H. 30" O.C. 30" H. 30" O.C. 30" H. 30" O.C.	O.C. LOW MEDIUM O.C. MEDIUM	NATIVE	TO L-4
/ERGREEN GIANT LIRIOPE VARF CONFEDERATE JASMINE	1 GAL. 18" O.C. 1 GAL. 12" O.C.			MATCH TO MATCH TO
AHIA GRASS	SOD MULCH			V V
MATCH	TO L-	3		

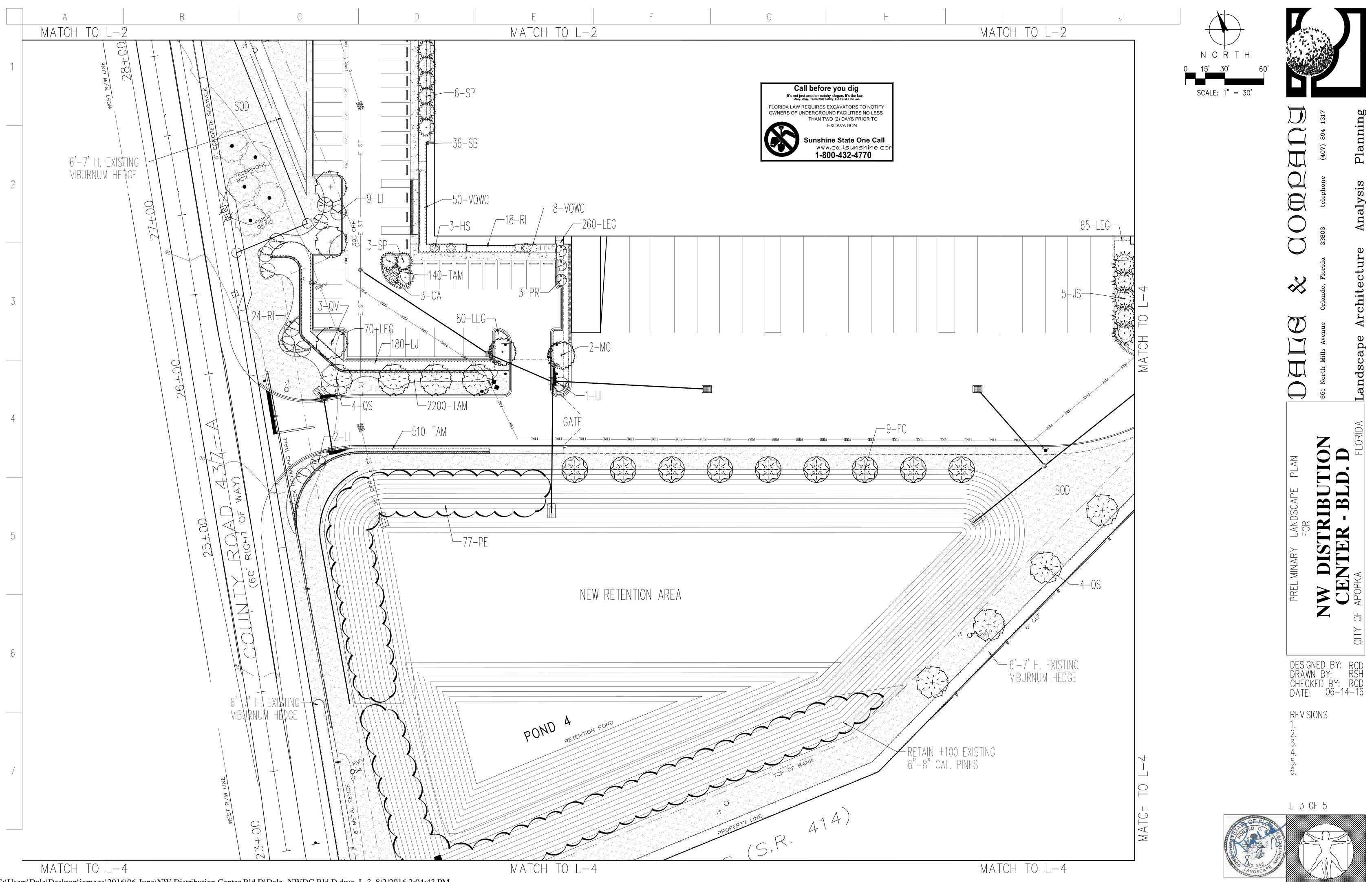




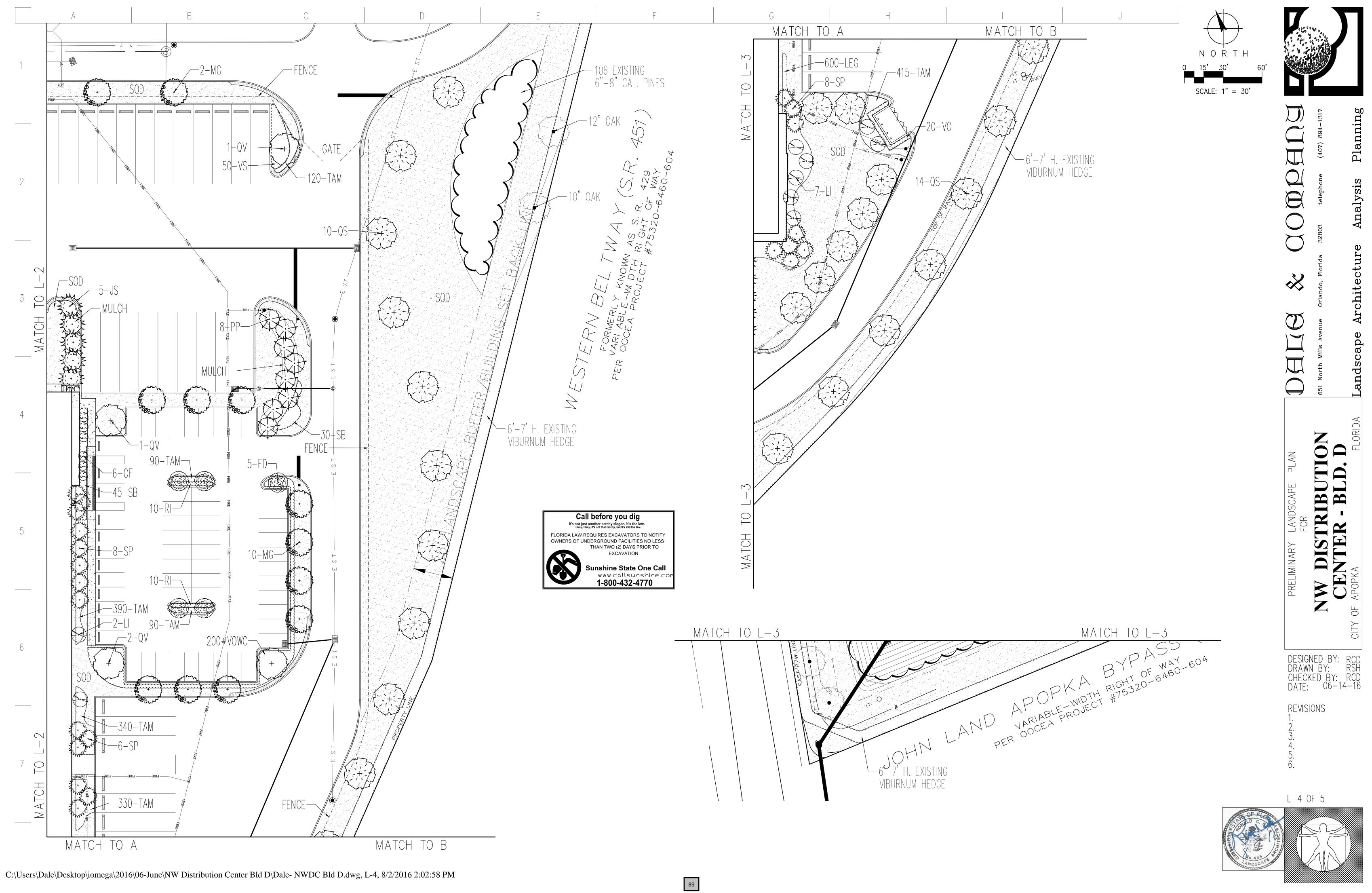
REVISIONS

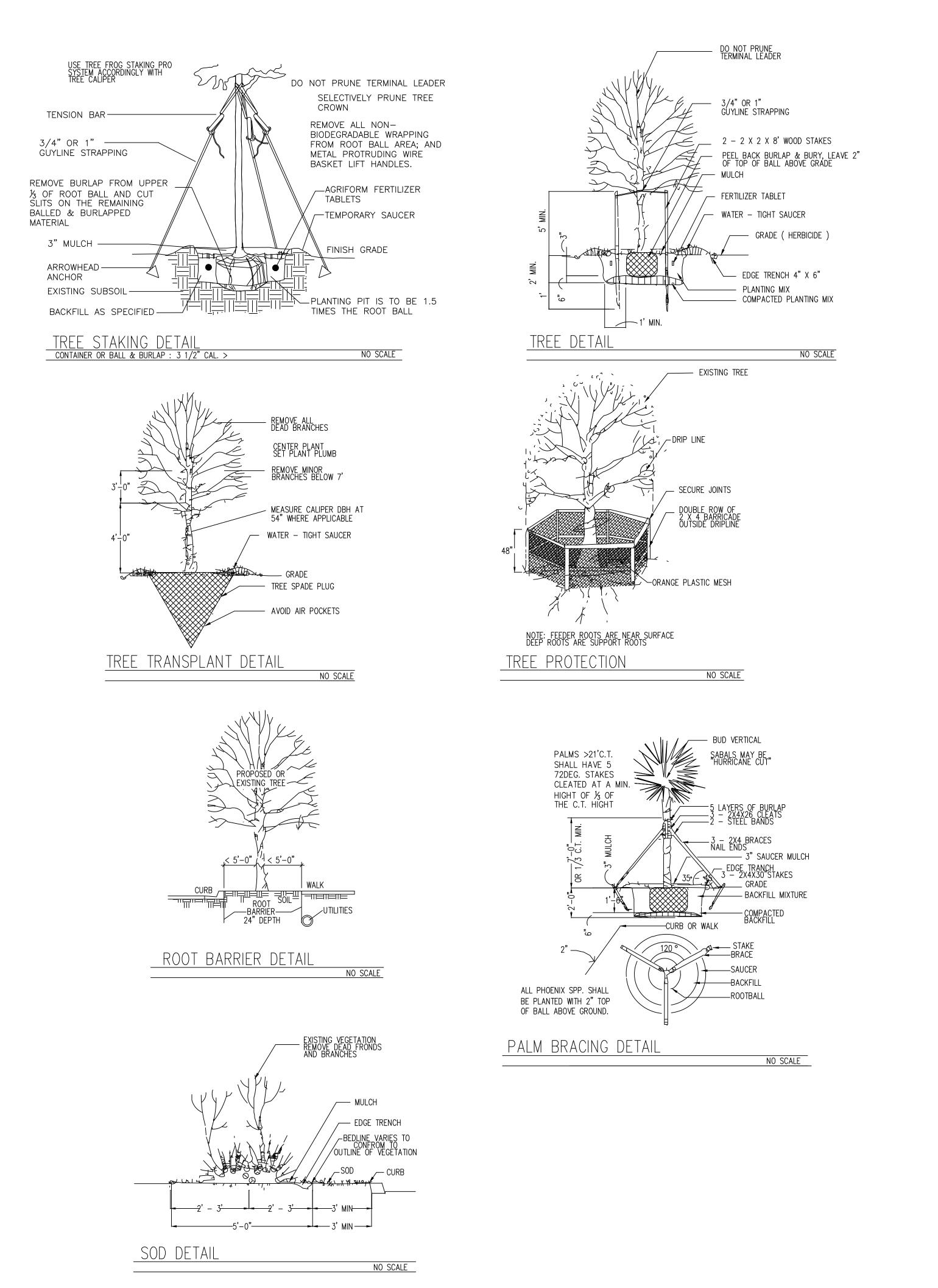
L-2 OF 5





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SECTION 02900 LANDSCAPE PART ONE – GENERAL

1.0 SUMMARY

- A. All portions of Division I General Requirements are included with this section.
- B. Furnish all transportation, materials, labor, equipment, taxes, and service to complete all work as shown on the drawings and as specified herein
- shown on the drawings and as specified herein.C. Avoid conditions which will create hazards. Post signs or barriers as required.D. Provide adequate means for protection from damage
- trough excessive erosion, flooding, heavy rains or winds, etc. Repair or replace such damage.
 E. Plant totals are for the convenience of the Contractor
- and are not guaranteed. Verify drawings. Planting is required as indicated on drawings. F. Comply with all federal, state and local regulations.
- G. Contractor shall notify L.A. of any adverse soil conditions ancountered ie. clay, loose fill, high water table or poor drainage and any condition adverse to planting.
 H. Quantity deviations, questions on plans; please notify. Plant list is an estimate.

1.1 RELATED SECTIONS; SECTION 02810 IRRIGATION

1.2 REFERENCES

- A. Standard Plant Names, 1942 edition prepared by the American Joint Committee on Horticultural Nomenclature.
 B. Grades and Standards for Nursery Plants, Florida
- Department of Agriculture; Part II 1998 C. American Standard for Nursery Stock, prepared by the American Association of Nurserymen, Inc. (ANSI Z60.
- 1-1986)D. Hortus Third, Liberty Hyde Bailer Hortorium 1976.E. Florida Irrigation Society Standards and Specifications for

turf and Landscape Systems (Revision 61098).

1.3 SUBMITTALS Provide to Owner's representative during;

- A. Preconstruction 1. Unit Prices for all materials, including estimate
- (or quotation) or area to be sodded or seeded. 2. Proposed substitutions of materials or sizes.
- Obtain approval by both landscape architect and Owner's representative.
- B. Construction
 1. Plant inspection certificates and shipping invoices as requested.
- 2. All fertilizer labels and notarized letter of conformance with these specifications.
- C. Contract Close-out
 1. Two sets as-built record documents (red-line prints).

1.4 QUALITY ASSURANCE

- A. All work shall be performed under the constant supervision of a foreman, having at least one year experience or education in the nursery trades.
- B. Contractor is expected to participate in a preconstruction conference with Owner and landscape architect to coordinate schedule, clarify questions, and discuss acceptable performance for payment.
- C. Contractor is expected to participate in a contract close-out conference with Owner and landscape architect to verify completion of the work, and to establish a "Date of Substantial Completion".

1.5 MAINTENANCE

- A. Contractor shall be fully responsible for all maintenance, damages, and replacements until Date of Substantial Completion of that specific phase of work. Document damage to the work caused by other trades. Immediately bring to Owner's attention, and quickly repair (at Owner's expense) as directed
- B. Maintenance consists of pruning, cultivation, edginbeds and walks, weeding, mulching, adjusting guys, resetting plants to proper grade or upright position, hand watering as required, restoration of planting saucer, and furnishing and applying such sprays as necessary to keep the planting free from insects or disease.
- C. The Contractor shall keep the premises free from accumulations of waste materials or rubbish caused by his employees or work, at all times.
- 1.6 REPLACEMENTS
- A. During the guarantee period any plant required under this contract that is dead or not in satisfactory growth condition (as determined by the landscape architect) shall be promptly replaced by the Contractor. Replacement shall be as specified for the
- original planting and at no cost to the Owner. B. Replacement period commences at Date of Substantial Completion and continues as follows:
 - a. Trees one (1) year b. Shrubs – ninety (90) days
 - c. Sod ninety (90) days

d. Other Products – one (1) year Time limit may be extended by mutual agreement for material in questionable health at and of guarantee

- material in questionable health at end of guarantee period.
- C. Plant damage by theft, vandalism, gross neglect, undue weather conditions, acts of God, or unseasonable planting are exempt from the guarantee provision.

3.3 INSTALLATION A. Topsoil

- Spread topsoil over all areas to receive ground cover to a minimum compacted depth of 4 inches. B. Rough Grading
- 1. Mold land surfaces to within 1 inch of final grade. Construct swales and berms. Fill low areas. Ensure proper drainage of all areas. Spread 6 inch lifts at 85% compaction (Proctor)
- 2. Slope grade away from buildings at a minimum slope of 1/2 inch per foot for a distance of 10 feet minimum
- minimum. C. Final Grading 1. Remove all non-conforming matter from site, such as rocks, sods, sticks, building rubble, wire, or cans.
- Dig out weeds by the roots.
 Till in soil amendments such as lime, iron, or gypsums if indicated by local conditions, but only
- after approval by landscape architect. Ensure uniform application.

PART TWO - PRODUCTS

- 2.0 MATERIALS
 A. Topsoils shall be fertile, natural, and typical of the locality. It shall be without subsoil or slag and shall be free of stones, lumps, plants or their roots, sticks, or other extraneous matter that is not conductive to production of plant life, or would interfere with fetere matter.
- interfere with future maintenance.
 B. Sod may have no visible broadleaf weeds when viewed from a standing position and the turf shall be visibly consistent with no obvious patches of foreign grasses. It may have no visible signs of disease or insect stress. In no case may the total amount of foreign grasses or weeds exceed 2% of the total canopy. The sod shall be (as noted on plan) neatly mowed and be mature enough that when grasses

neatly mowed and be mature enough that when grasped at one end it can be picked up and handled without damage.

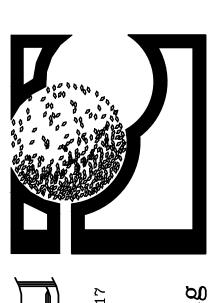
- C. Seed shall meet the tolerance for germination and purity in accordance with the U.S. Department of Agriculture Rules and Regulations under the latest edition of the "Federal Seed Act" for certified seed. Seed shall be mixed by the dealers and shall be delivered to the site in sealed containers which shall beat the dealer's guaranteed analysis. Seed mixture and seeding rate shall be as specified on the drawings.
- D. Fertilizer
 1. "Agri-form" or "Woodace" 21 gram tablet of 20-10-5 formulation.
 2. Granular fertilizer shall be a balanced formula
- 2. Granular fertilizer shall be a balanced formula, uniform in composition, free flowing and delivered to site in unopened bags.
 E. Peat
- Incorporate black Florida peat into planting mix when specified on plant list at the following rates: 1. 1 gallon plants - 1/8 cubic feet
- 2. 3 gallon plants 1 cubic feet
- 3. Trees -1/2 cubic foot per foot of height F. Herbicide
- "Selfan" or "Preen" pre-emergent. G. Additional Soil Amendments
- 1. Apply as needed to bring soil into optimum growth
- range for specified plants. 2. If soil is below 5.0 ph incorporate enough horticultural lime to bring within 5.6 to 6.5 ph range.
- H. Plants
 1. Measured standing in natural form of the size indicated on "plant list" and grade "Florida No 1"
 - unless otherwise indicated. 2. Non-classified plants to meet AAN standards. Tree calipers shall be measured 6 inches above soil
 - 3. All plants shall be sound, healthy, free from insect pests and eggs, and have normal, healthy root systems.
 - Form shall be symmeterical or typical for species and variety.
 - 5. Any plant may be rejected by landscape architect if not of satisfactory size, health, quality, or character.
 - 6. Trees having rootballs wrapped with synthetic burlap will be rejected.

I. Mulch shall be Pine bark, no cypress bark, & free from sticks, stones, leaves or other debris.

- 2.1 EQUIPMENT
- Use magnesium grading rakes of 30 inch minimum width to remove irregularities in final grade prior to sodding or seeding and to ensure a flat subgrade.
- 2.2 MIXES A. Planting Mixture
 - 1. Use the best natural soil existing on site, combined with fertilizer.
- PART THREE EXECUTION
- 3.0 EXAMINATION
- A. Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for Contractor to
- perform his duties under the terms of this contract.
- Review engineering drawings for additional information.
 Coordinate work with Owner and other related trades.
- D. Relocate existing plant material as directed by landscape architect, and according to drawings.
- 3.1 PROTECTION
- Locate, identify and mark all known utilities in area of the work. Take reasonable care to avoid damages or hazards. 3.2 PREPARATION
- Remove from site existing sods, seeds, inferior plantings and preconstruction debris as necessary to incorporate work to the site. Obtain verification regarding removal of questionable material. Clean up of debris from new construction (by other trades) is not included in this contract.
- D. Planting Pits
- Excavate to dimensions shown on plan. E. Plant Installation
- Do not crack or break soil away from root ball.
 Carefully set plant plumb, best side facing "out", at the same soil level, to 1" higher, as previously
- 3. Remove all twine, burlap, or rope from top third of root ball. Retain cloth under ball. Wash in backfill with slow hose.
- 4. Form shallow basin at each plant. Adjust grade to 1 1/2" below adjacent pavement. All plants shall be 30" minimum from walls, walks and fences.

5. Space ground cover in triangle pattern with outside row parallel to bedline, 1/2 plant spacing distance from edge.

- Sod Installation
- Sod all areas indicated on plan and areas disturbed by work of other trades.
 Lay panels tightly together. Top dress cracks with
- sand. Water thoroughly.
- G. Stake and Guy
- Stake and guy ..as per plan.
- H. Fertilize Fertilize evenly at following rates:
- 1. Tablet Fertilizer
- 1 gallon plant 1 tablet
- 2 gallon plant -1 to 2 tablets
- 5 gallon plant 2 to 3 tablets
- Trees 1 tablet per foot of height 2. Granular Fertilizer
- Work into the top 2 " of soil at the rate of 20 pounds per 1000 square feet for lawn areas. I. Prune
- Prune as little as necessary to remove damaged twigs. In any case, terminal leader shall not be topped either before or after installation.
- J. Herbicide
- Apply pre-emergent herbicide to all beds according to manufacturer's recommendations. K. Mulch
- Spread to a uniform depth of 2"min. Fluff and pat in place.
- 3.4 FIELD QUALITY CONTROL
- A. Landscape architect or Owner may conduct periodic inspections to determine that the terms of this contract are fulfilled.
- B. Contractor will be expected to participate with Owner in final inspection to review project for conformance to the contract. Items to be reviewed include type, quantities, sizes, locations, dimensions, and quality of materials and workmanship. Final payment for work will depend upon satisfactory condition of project on Date of Substantial Completion.



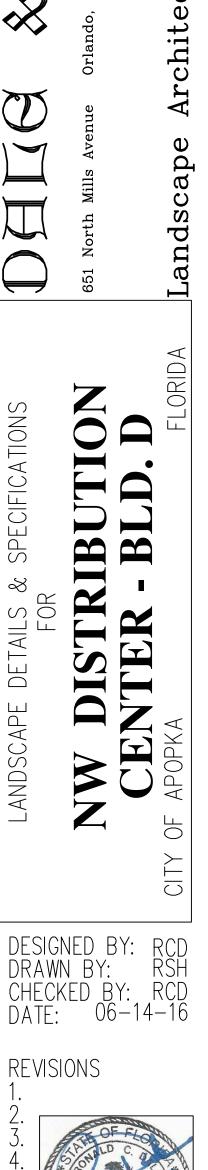
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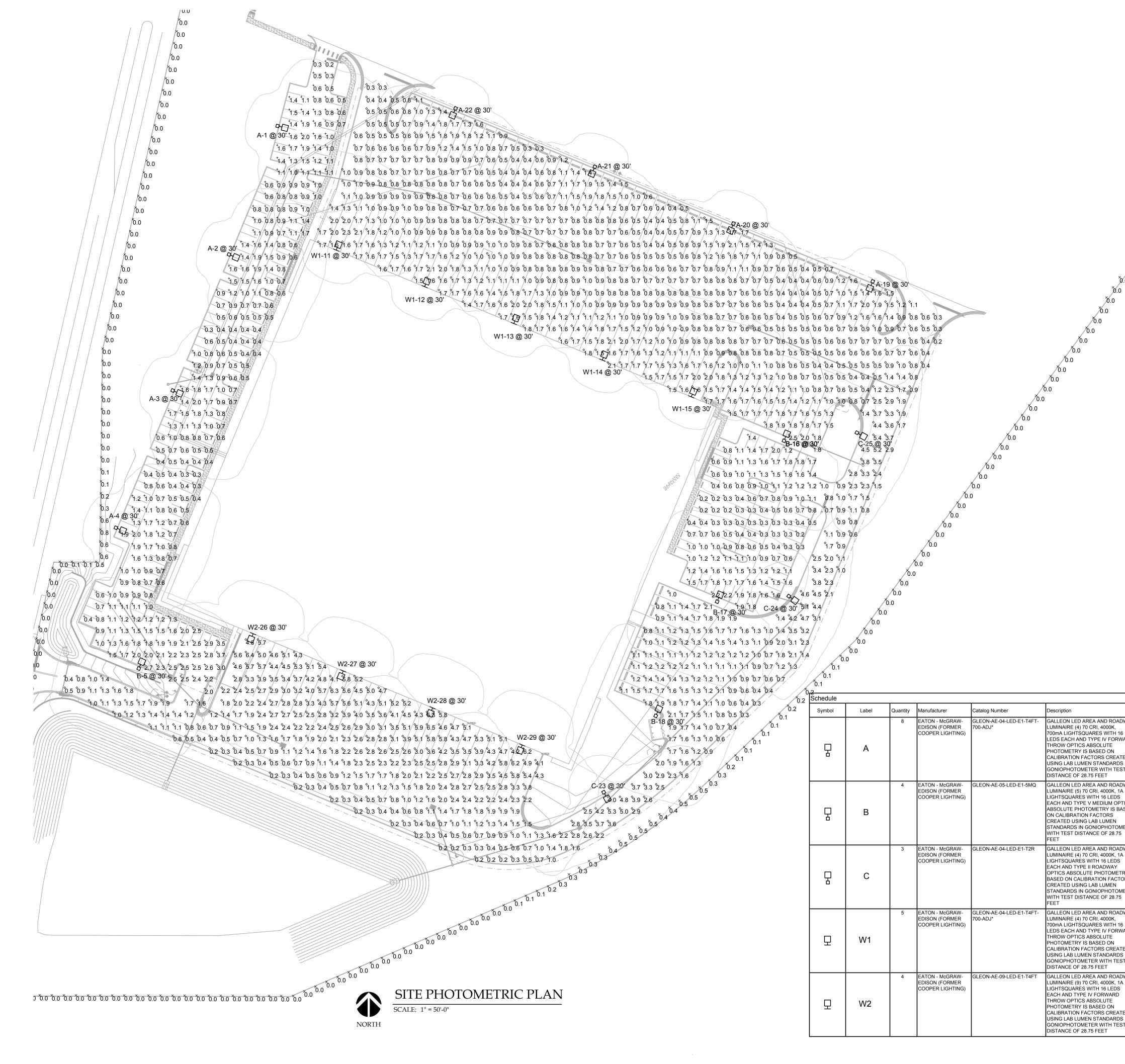
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L-5 OF 5



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6.0	Description			Symbol	Avg	Max	Min	Max/Min	Avg	/Min				
5			BOUNDARY		BOUNDARY			×	0.0 fc	0.8 fc	0.0 fc	N/A	N	I/A
	CAR PARKING & DRIVES			+	1.1 fc	3.7 fc	0.2 fc	18.5:1	5.	5:1				
			TRUCK CO	URT		\diamond	1.5 fc	6.5 fc	0.2 fc	32.5:1	7.	5:1		
Lun	ninaire	Locations												
	Location									Aim				
No.	Label	х	Y	Z	МН	Orienta	tion	Tilt	х	Y		z		
1	^	485040.20	1571571.00	30.00	30.00	105	40	0.00	195050 10	1571571	00	0.00		

Statistics

No.	Label	Х	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	Α	485049.20	1571571.00	30.00	30.00	105.49	0.00	485050.40	1571571.00	0.00
2	А	484998.90	1571438.00	30.00	30.00	107.58	0.00	485000.10	1571438.00	0.00
3	А	484940.40	1571297.00	30.00	30.00	108.98	0.00	484941.60	1571297.00	0.00
4	А	484881.60	1571155.00	30.00	30.00	111.44	0.00	484882.80	1571155.00	0.00
5	В	484905.30	1571009.00	30.00	30.00	20.07	0.00	484905.80	1571010.00	0.00
11	W1	485110.20	1571443.00	30.00	30.00	23.34	0.00	485110.40	1571444.00	0.00
12	W1	485201.80	1571405.00	30.00	30.00	21.36	0.00	485202.00	1571406.00	0.00
13	W1	485293.80	1571367.00	30.00	30.00	21.36	0.00	485294.00	1571368.00	0.00
14	W1	485386.00	1571330.00	30.00	30.00	21.36	0.00	485386.20	1571331.00	0.00
15	W1	485478.40	1571292.00	30.00	30.00	21.36	0.00	485478.60	1571293.00	0.00
16	В	485573.70	1571245.00	30.00	30.00	20.94	0.00	485574.10	1571246.00	0.00
17	В	485504.20	1571078.00	30.00	30.00	21.88	0.00	485504.70	1571079.00	0.00
18	В	485440.70	1570960.00	30.00	30.00	21.88	0.00	485441.20	1570961.00	0.00
19	А	485665.50	1571410.00	30.00	30.00	200.42	0.00	485665.10	1571409.00	0.00
20	А	485521.20	1571470.00	30.00	30.00	200.42	0.00	485520.80	1571469.00	0.00
21	А	485377.30	1571529.00	30.00	30.00	200.42	0.00	485376.90	1571528.00	0.00
22	Α	485233.10	1571589.00	30.00	30.00	200.42	0.00	485232.70	1571588.00	0.00
23	С	485386.80	1570881.00	30.00	30.00	145.98	0.00	485387.50	1570880.00	0.00
24	С	485578.30	1571084.00	30.00	30.00	108.98	0.00	485579.50	1571084.00	0.00
25	С	485649.30	1571253.00	30.00	30.00	108.98	0.00	485650.50	1571253.00	0.00
26	W2	485023.60	1571044.00	30.00	30.00	202.00	0.00	485023.40	1571044.00	0.00
27	W2	485116.50	1571006.00	30.00	30.00	202.00	0.00	485116.30	1571006.00	0.00
28	W2	485209.30	1570968.00	30.00	30.00	202.00	0.00	485209.10	1570968.00	0.00
29	W2	485302 40	1570930.00	30.00	30.00	202.00	0.00	485302 20	1570930.00	0.00

SITE LIGHTING GENERAL NOTES

1. THIS PHOTOMETRIC PLAN WAS GENERATED WITH IES FILES FROM THE MANUFACTURER(S) SHOWN UTILIZING FIXTURE AND POLE CHARACTERISTICS ALSO SHOWN. THE ENGINEER ASSUMES NO LIABILITY FOR THE ACCURACY OF THE IES FILES.

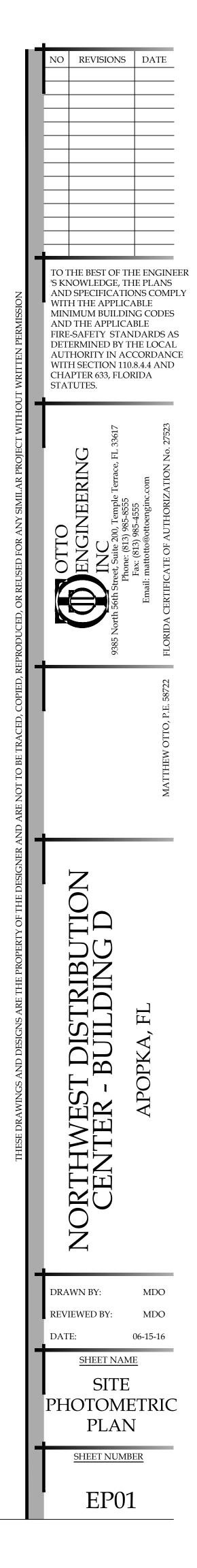
85302.40 1570930.00 30.00 30.00

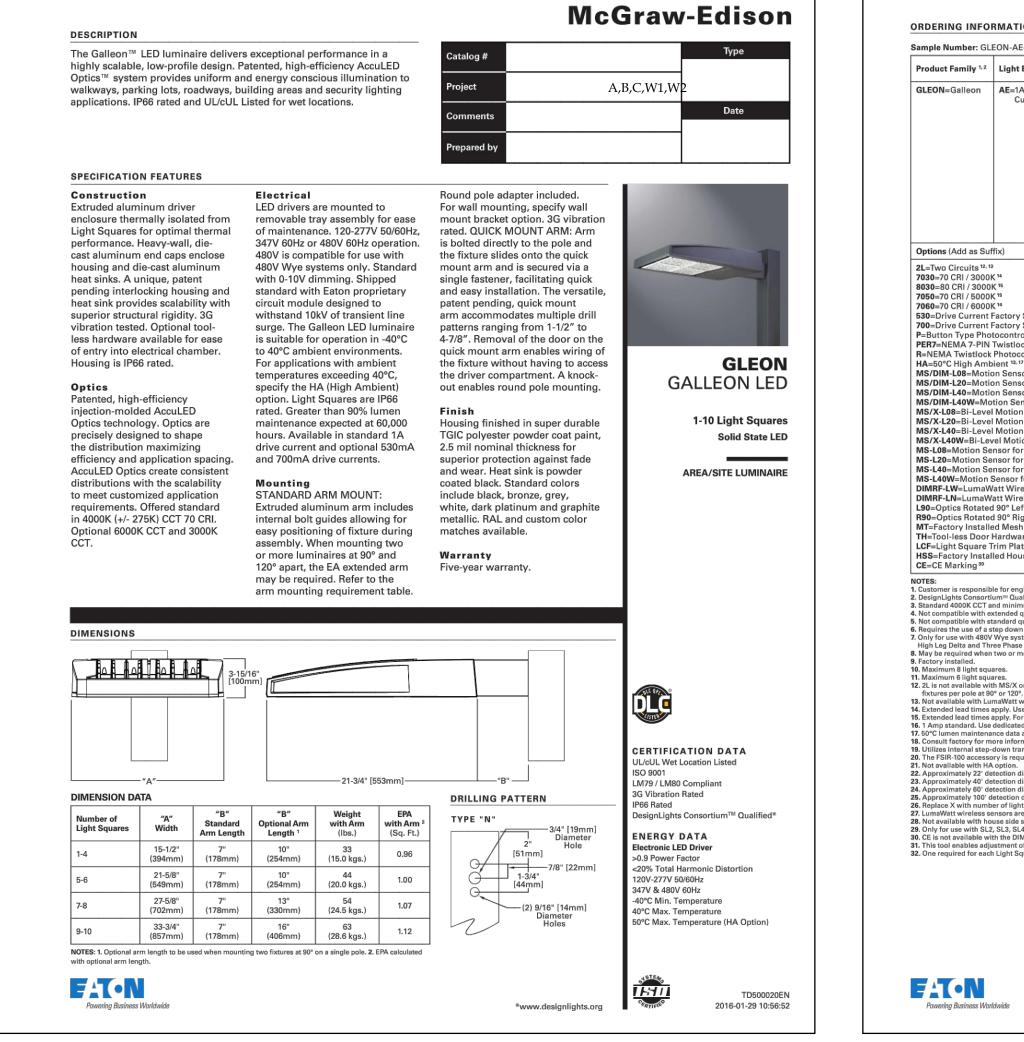
SITE LIGHTING SUBSTITUTIONS

1. EQUIVALENT FIXTURES BY LITHONIA, HUBBELL, OR GARDCO MAY BE SUBMITTED PROVIDED THE FOLLOWING IS RECEIVED AS A COMPLETE PACKAGE:

2. 1"= 50'-0" PHOTOMETRIC SHOP DRAWINGS ARE TO INDICATE HORIZONTAL POINTS ON 12'-6" CENTERS. ALL FIXTURE DATA SHOWN ON THIS SHEET SHALL BE CONTAINED IN THE SUBMITTED FIXTURE SCHEDULE.

	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
DWAY 6 WARD TED S IN ST		64	GLEON-AE-04-LED- E1-T4FT-700- ADJ.ies	Absolute	0.9	138
DWAY A PTICS ASED METER		80	GLEON-AE-05-LED- E1-5MQ.ies	337	0.9	264
DWAY A TRY IS ORS METER		64	GLEON-AE-04-LED- E1-T2R.ies	337	0.9	213
DWAY 6 WARD TED IS IN ST		64	GLEON-AE-04-LED- E1-T4FT-700- ADJ.ies	Absolute	0.9	138
DWAY A TED S IN ST		144	GLEON-AE-09-LED- E1-T4FT.ies	320	0.9	475





er: GLF	ON-AE-04-LED	-E1-T3-GM-700					· · · · · ·	· · · · · · · · ·
ily 1, 2	Light Engine	Number of Light Squares ³	Lamp Type	Voltage	Distribution		Color	Mounting
eon	AE=1A Drive Current	01=1 02=2 03=3 04=4 05=5 06=6 07=7 ⁴ 08=8 ⁴ 09=9 ⁵ 10=10 ⁵	LED=Solid State Light Emitting Diodes	E1=(120-277V) 347=347V ⁶ 480=480V ^{6,7}		dway ward Throw de row Jare Medium Jare Wide Jill Control pill Control pill Control pill Control ht Eliminator Left ht Eliminator Right Wide Type I	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White	[Blank]=Arm for Round or Square Pole EA=Extended Arm ⁸ MA=Mast Arm Adapter ⁹ WM=Wall Mount QM=Quick Mount Arm (Standard Length) ¹⁰ QMEA=Quick Mount Arm (Extended Length) ¹¹
as Suffi iits ^{12, 13}	ix)					Accessories (Order S	eparately)	
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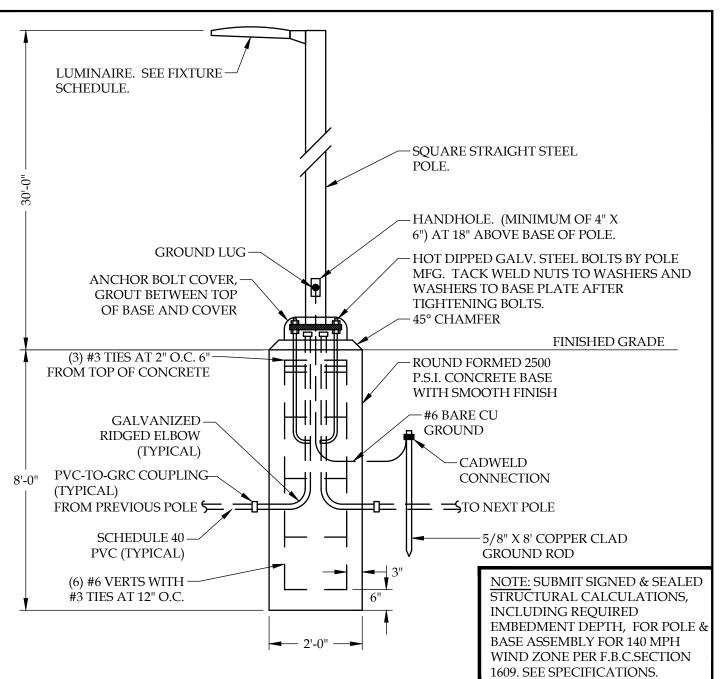
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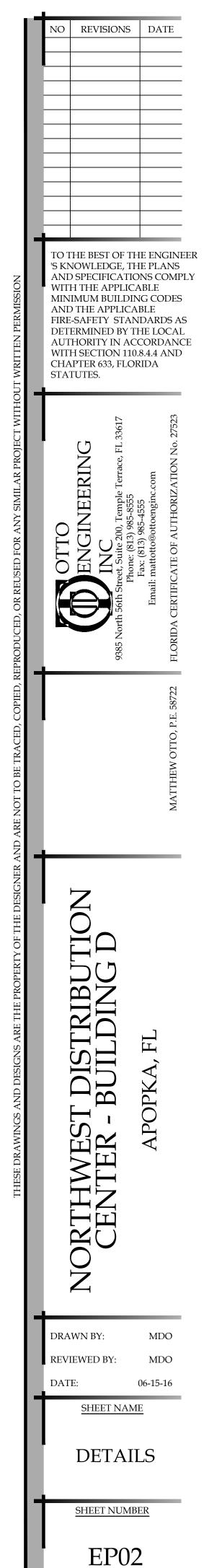
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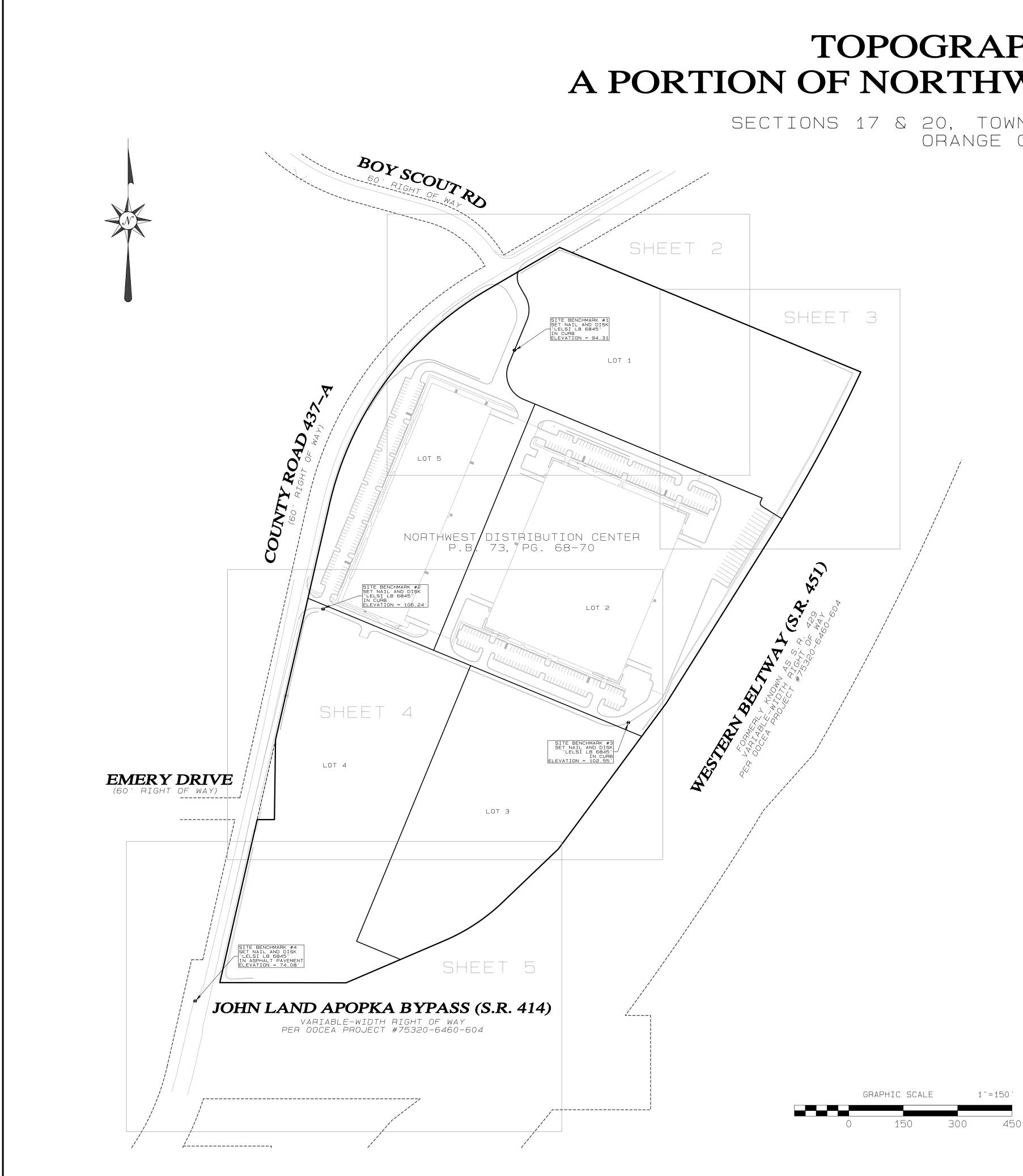
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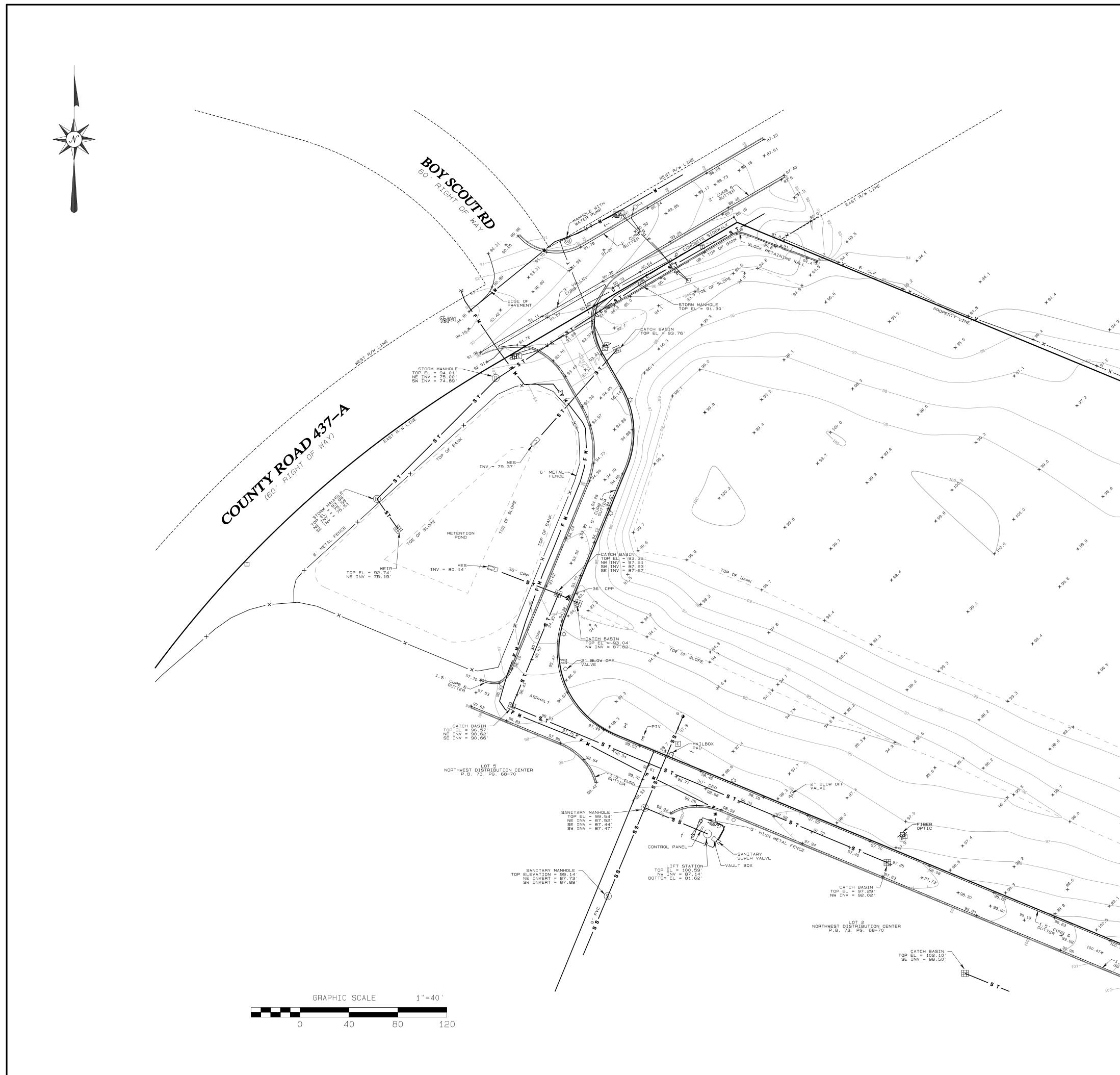
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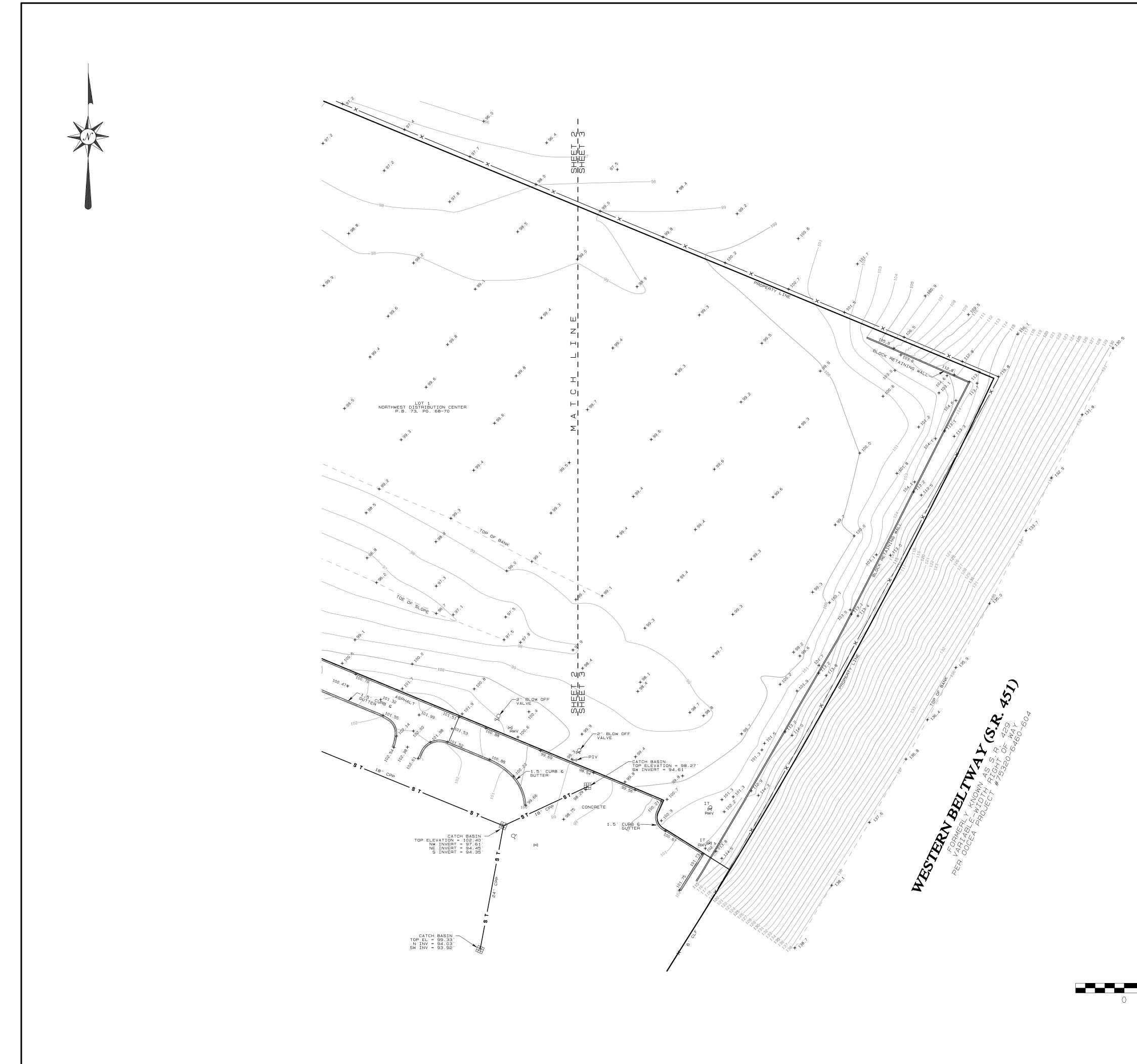
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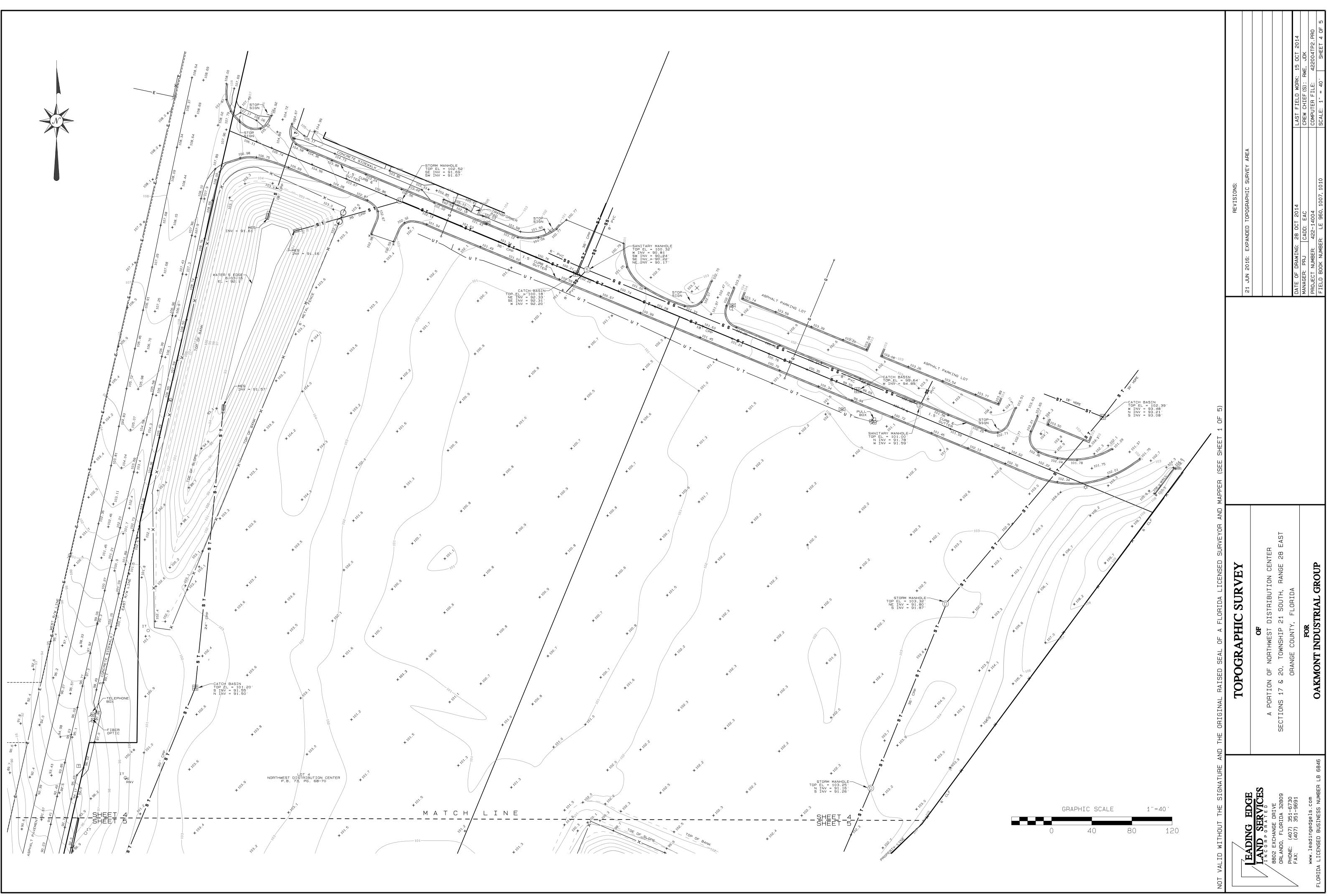


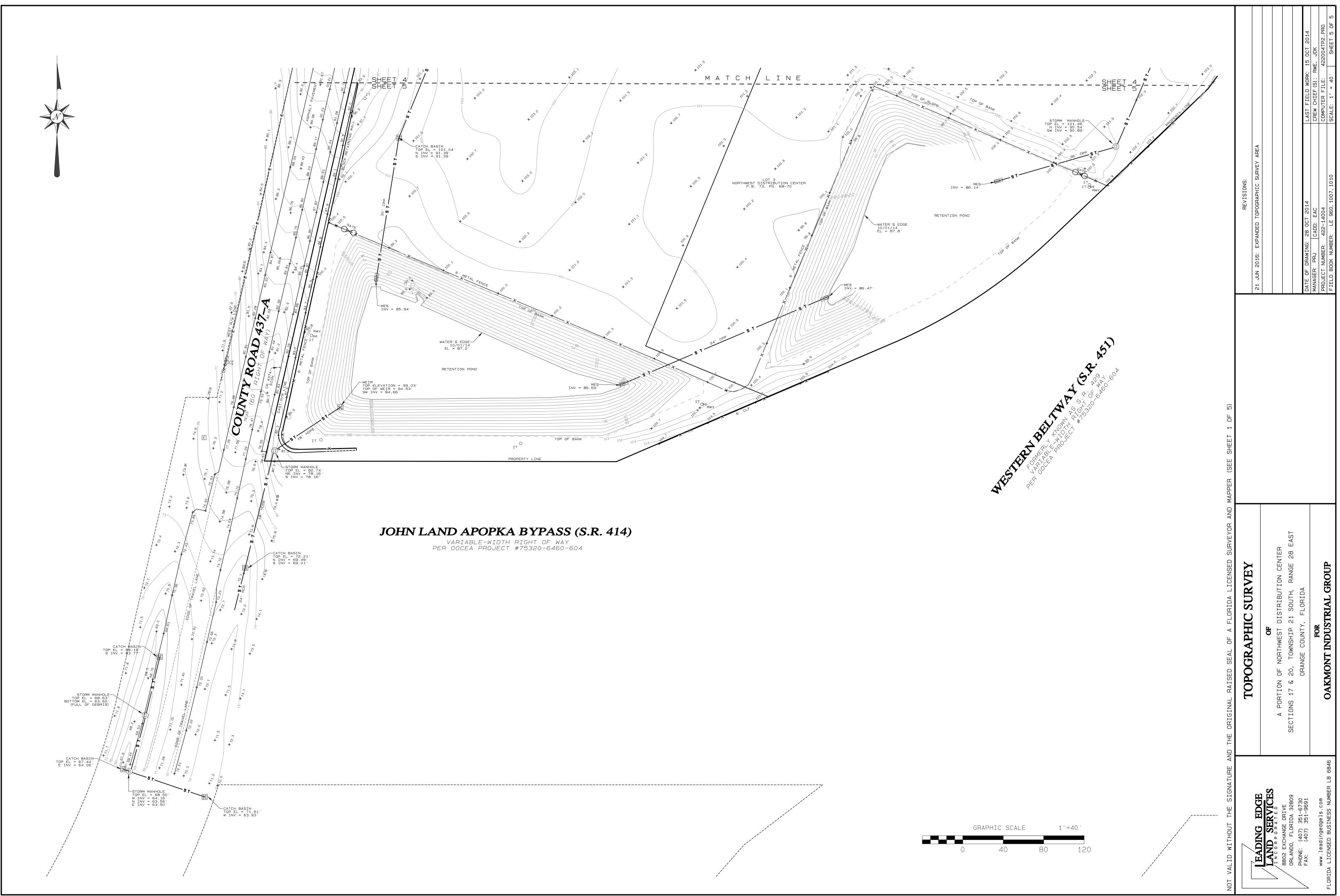
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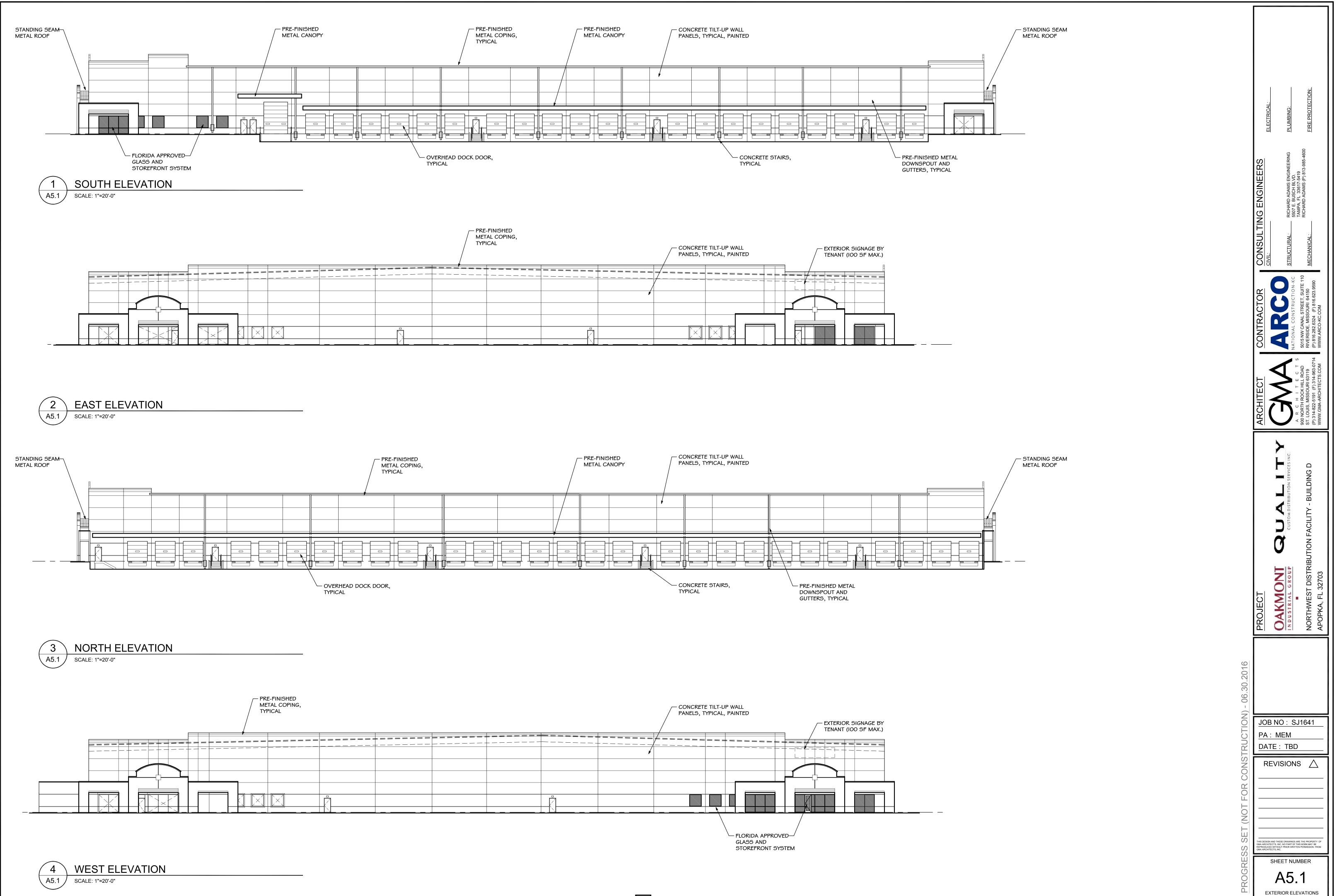


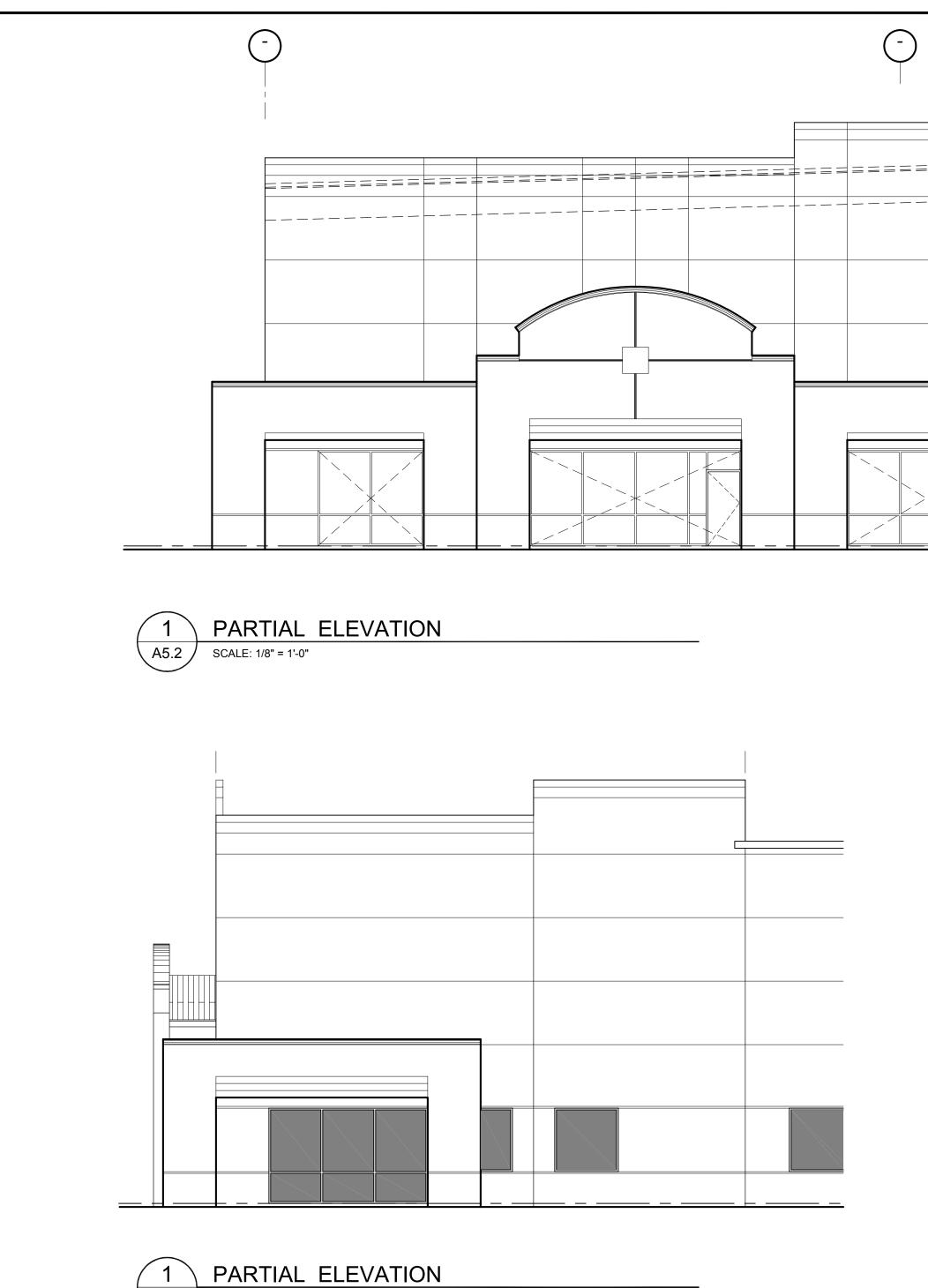
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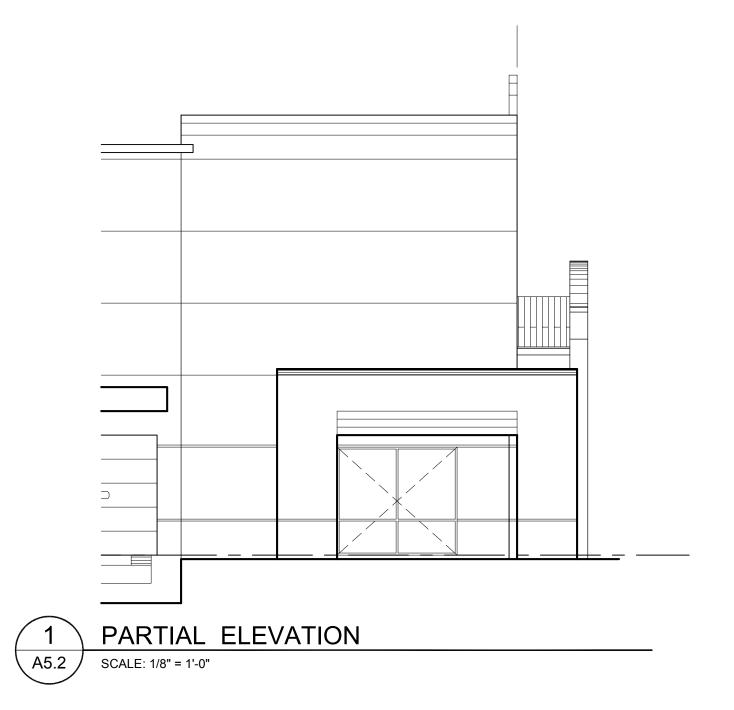
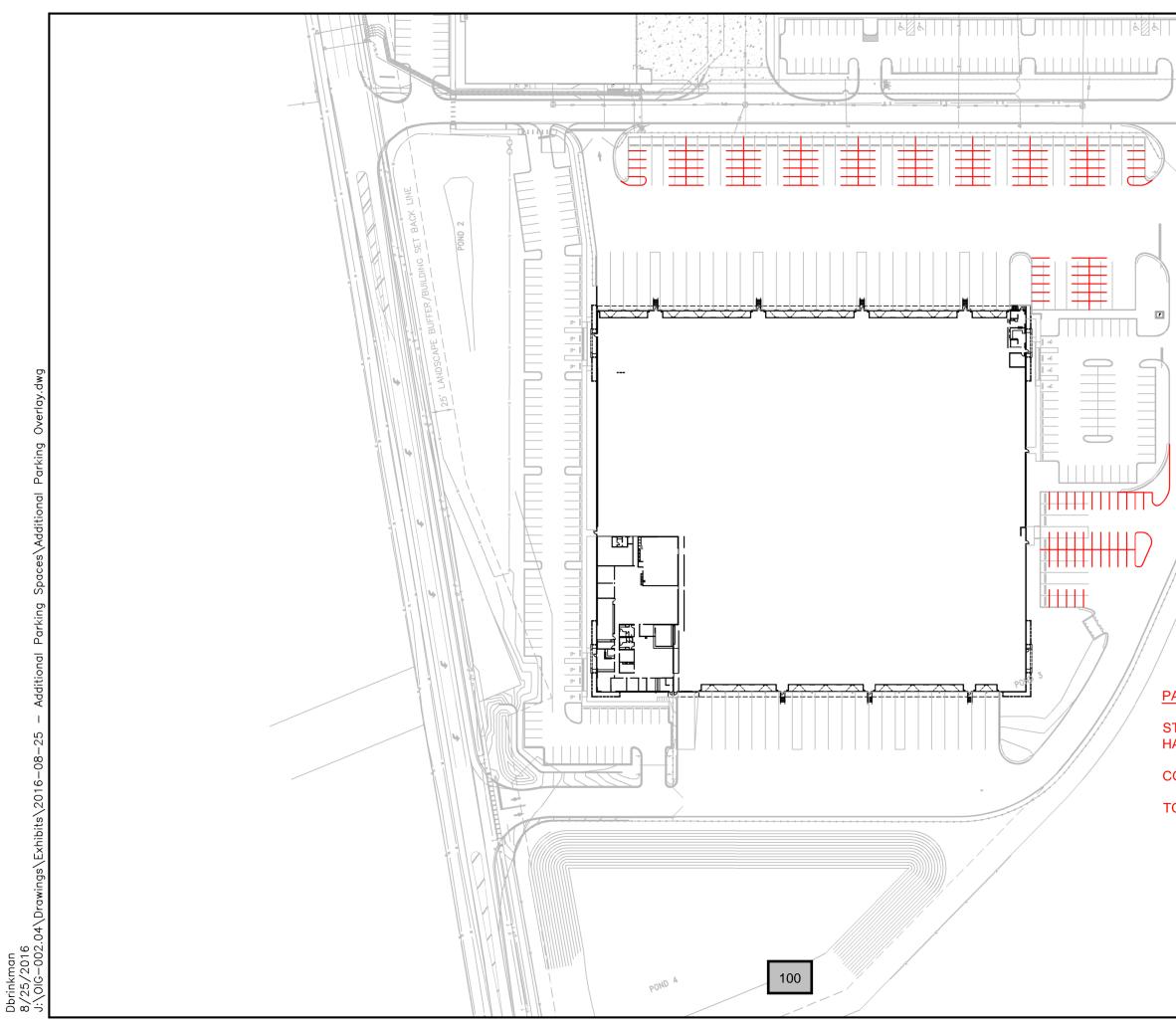


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August 24, 2016

Mr. Rogers Beckett, Sr. Projects Coordinator City of Apopka Community Development Department 120 East Main Street, Second Floor Apopka, FL 32703

Re: Northwest Distribution Center Build-To-Suit for Quality Custom Distribution Services, Inc.

Dear Mr. Beckett:

In support of the parking variance request for the above referenced project, see the attached letter and parking analysis from Quality Custom Distribution Services, Inc.("QCD"). As you will see from their letter and analysis, the designed 187 auto spaces exceeds the maximum projection by 35% and the designed trailer spaces is right in line with the projections.

We have also attached a similar parking analysis for the 2 existing buildings in Northwest Distribution Center which are 100% leased. This analysis shows the following actual densities: 1 office employee for each 284 SF of office; 1 warehouse employee for each 5,433 SF of warehouse and 0.07 trailer spaces for each 1,000 SF of warehouse. These actual densities are significantly less than either the projected or designed densities for QCD and further support the requested parking variance.

It is my understanding that the current code would require 330 auto spaces for QCD in lieu of the designed 187 spaces. Providing 330 spaces would put an undue burden on the project and would make the expansion of QCD impossible. We respectfully request approval of the requested parking variance.

Please let me know if you need any additional information.

Sincerely,

nen C. Calila

Thomas A. Cobb Senior V.P., Development

QUALITY CUSTOM DISTRIBUTION SERVICES INC.

a golden state foods company

August 24, 2016

Mr. Thomas A. Cobb Oakmont Industrial Group 3520 Piedmont Road, Suite 100 Atlanta, GA 30305

Re: Northwest Distribution Center Build-To-Suit for Quality Custom Distribution Services, Inc.

Dear Tom:

As part of the design process for our proposed 180,000 SF Build-To-Suit project at Northwest Distribution Center in Apopka, FL, we understand that a parking variance is required in order to accommodate the auto and truck parking requirements of our use. In order to assist with this process we are providing the following information in order to substantiate the project design with 187 auto spaces and 59 truck/trailer spaces.

Requirements upon initial operations

- Total number of employees 110
- Number of shifts 3
- Maximum number of employees for largest shift 75 (75 auto spaces)
- Required truck/trailer parking spaces, excluding dock doors 59

Requirements after full ramp of operations (Expected to be 2 years after occupancy)

- Total number of employees 160
- Number of shifts 3
- Maximum number of employees for largest shift 90 (90 auto spaces)
- Required truck/trailer parking spaces, excluding dock doors 59

In further support of our required parking, we have done an analysis of 5 of our existing facilities across the country including our current operations at Northwest Distribution Center (See attached analysis). This analysis looks at the square footage of office and warehouse as well as the maximum number of office and warehouse employees and trailer spaces at each facility. We then took the employee and trailer density data from these existing facilities and applied them to our proposed 180,000 SF project. We looked at the average densities of all 5 facilities and then also looked at the densities for the most comparable existing facility located in Pineville, NC. These results project that we would require 138 auto spaces and 58 trailer spaces using the 5 building averages and 136 auto spaces and 58 trailer spaces using the average trailer density.

Since our new facility will operate with multiple shifts, our projected parking requirement of 90 spaces is less than what the attached analysis projects. The designed 187 auto spaces exceeds the highest projected parking requirement by 35% and the designed 59 trailer spaces is right in line with the projected 58 trailer spaces in the attached analysis. This analysis should sufficiently justify the requested parking variance.

Please let us know if you need any additional information. We look forward to expanding our operations with Oakmont and the City of Apopka.

Very truly yours,

Kevin McDade General Manager 1451 Ocoee Apopka RD BLD B Suite 300 Apopka FL 32703 Phone: 321-248-7551

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QCD Existing Parking Analysis For Largest Shift

		SF/Office		Warehouse/Driver	SF/Warehouse &		Trailer Spaces/1,000
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Total Required Trailer S	paces - 20						
Project 2 - Pineville, NC							
		SF/Office		Warehouse/Driver	SF/Warehouse &		Trailer Spaces/1,000
Office SF Office	Employees	Employee	Warehouse SF	Employees	Driver Employee	Trailer Spaces	WHSF
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Total Required Trailer S	paces - 32						
Project 3 - Miami, FL							
		SF/Office		Warehouse/Driver	SF/Warehouse &		Trailer Spaces/1,000
	Employees	Employee	Warehouse SF	Employees	Driver Employee	Trailer Spaces	WHSF
3,800	9	422	38,920	25	1,557	18	0.4
Total Required Auto Pa	-						
Total Required Trailer S	paces - 18						
Project 4 - Suffolk, VA		65/0ff		Weight and Dataset	cr humber o		Tue'lles Conservation (4, 000
	F analassa a	SF/Office	Warahawaa CE	Warehouse/Driver	SF/Warehouse &	Tusilan Cusasa	Trailer Spaces/1,000
	Employees	Employee	Warehouse SF 43.000	Employees 40	Driver Employee 1,075	Trailer Spaces	WHSF 0.4
	17					10	0.4
5,000	17	294	43,000	40	1,073		
5,000 Total Required Auto Pa	rking - 57	294	43,000	40	1,073		
	rking - 57	294	43,000	40	1,673	-	
5,000 Total Required Auto Pa	rking - 57	294	43,000	40	1,075		
5,000 Total Required Auto Pa Total Required Trailer S	rking - 57 Spaces - 18	294	43,000	40	2,073		
5,000 Total Required Auto Pa	rking - 57 Spaces - 18		43,000		<u> </u>		Trailer Spaces /1 00
5,000 Total Required Auto Pa Total Required Trailer S Project 5 - Spokane, W/	rking - 57 Spaces - 18	SF/Office		Warehouse/Driver	SF/Warehouse &	Trailer Spaces	Trailer Spaces/1,000 WHSE
5,000 Total Required Auto Pa Total Required Trailer S Project 5 - Spokane, W/	rking - 57 Spaces - 18		43,000 Warehouse SF 17,000		<u> </u>	Trailer Spaces	Trailer Spaces/1,000 WHSF 0.3

Proposed Facilit	y Based on Average	of 5 Existing Facilit	ies						
NWDC Building	<u> - Apopka, Florida</u>								
		AVG. SF/Office		Warehouse/Driver	AVG. SF/Warehouse &		AVG. Trailer		
Office SF	Office Employees	Employee	Warehouse SF	Employees	Driver Employee	Trailer Spaces	Spaces/1,000 WHSF		
14,448	42	346	165,552	96	1,732	58	0.35		
Total Required Auto Parking - 138									
Total Required	Frailer Spaces - 58								

Proposed Facility Based on The Most Comparable Existing Facility NWDC Building D - Apopka, Florida									
		SF/Office		Warehouse/Driver	SF/Warehouse		AVG. Trailer		
Office SF	Office Employees	Employee	Warehouse SF	Employees	Employee	Trailer Spaces	Spaces/1,000 WHSF		
14,448	34	429	165,552	102	1,615	58	0.35		
Total Required Auto Parking - 136									
Total Required Trailer Spaces - 58									

Parking Analysis For Existing Tenant Facilities at NWDC

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		SF/Office		Warehouse	SF/Warehouse		Trailer Spaces/1,000
Office SF	Office Employees	Employee	Warehouse SF	Employees	Employee	Trailer Spaces	WHSF
1.865		466	38,193	4	9,548	0	0.0
1	d Auto Parking - 8		,		-,		
	d Trailer Spaces - 0						
NWDC Building	g B -Coke						
		SF/Office		Warehouse	SF/Warehouse		Trailer Spaces/1,00
Office SF	Office Employees	Employee	Warehouse SF	Employees	Employee	Trailer Spaces	WHSF
1,257	2	629	98,859	4	24,715	0	0.0
Total Required	d Auto Parking - 6						
Fotal Required	d Trailer Spaces - 0						
NWDC Building	gs A & B -QCD						
		SF/Office		Warehouse	SF/Warehouse		Trailer Spaces/1,00
Office SF	Office Employees	Employee	Warehouse SF	Employees	Employee	Trailer Spaces	WHSF
4,512	-	251	91,562	40	2,289	20	0.2
Total Required	d Auto Parking - 58						
Total Required	d Trailer Spaces - 20						
NWDC Building	a A -Container Central	on					
	g A Container Central	SF/Office		Warehouse	SF/Warehouse		
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Employees	Employee	Trailer Spaces	WHSF
Office SF 214	Office Employees	SF/Office	Warehouse SF 22,294		•	Trailer Spaces	WHSF
Office SF 214 Total Required	Office Employees 1 d Auto Parking - 5	SF/Office Employee		Employees	Employee		WHSF
Office SF 214 Total Required	Office Employees	SF/Office Employee		Employees	Employee		Trailer Spaces/1,000 WHSF 0.00
Office SF 214 Total Required Total Required	Office Employees 1 d Auto Parking - 5 d Trailer Spaces - 0	SF/Office Employee		Employees	Employee		WHSF
Office SF 214 Total Required	Office Employees 1 d Auto Parking - 5 d Trailer Spaces - 0	SF/Office Employee		Employees	Employee		WHSF
Office SF 214 Total Required Total Required	Office Employees 1 d Auto Parking - 5 d Trailer Spaces - 0	SF/Office Employee 214		Employees 4	Employee 5,574		WHSF 0.00
Office SF 214 Total Required Total Required NWDC Buildin;	Office Employees 1 d Auto Parking - 5 d Trailer Spaces - 0 g <u>A -Miner</u> Office Employees	SF/Office Employee 214 SF/Office	22,294	Employees 4 Warehouse	Employee 5,574 SF/Warehouse	0	WHSF 0.0 Trailer Spaces/1,00 WHSF
Office SF 214 Total Required Total Required NWDC Building Office SF 3,616	Office Employees 1 d Auto Parking - 5 d Trailer Spaces - 0 g <u>A -Miner</u> Office Employees	SF/Office Employee 214 SF/Office Employee	22,294 Warehouse SF	Employees 4 Warehouse Employees	Employee 5,574 SF/Warehouse Employee	0 Trailer Spaces	WHSF 0.0 Trailer Spaces/1,00 WHSF
Office SF 214 Total Required Total Required NWDC Building Office SF 3,616 Total Required	Office Employees 1 d Auto Parking - 5 d Trailer Spaces - 0 g A -Miner Office Employees 19	SF/Office Employee 214 SF/Office Employee	22,294 Warehouse SF	Employees 4 Warehouse Employees	Employee 5,574 SF/Warehouse Employee	0 Trailer Spaces	WHSF 0.0 Trailer Spaces/1,00 WHSF
Office SF 214 Total Required Total Required NWDC Building Office SF 3,616 Total Required	Office Employees 1 d Auto Parking - 5 d Trailer Spaces - 0 g A -Miner Office Employees 19 d Auto Parking - 20	SF/Office Employee 214 SF/Office Employee 190	22,294 Warehouse SF	Employees 4 Warehouse Employees 1	Employee 5,574 SF/Warehouse Employee 17,992	0 Trailer Spaces	WHSF 0.0 Trailer Spaces/1,00 WHSF 0.0
Office SF 214 Total Required Total Required NWDC Building Office SF 3,616 Total Required Total Required NWDC Building	Office Employees 1 d Auto Parking - 5 d Trailer Spaces - 0 <u>g A -Miner</u> Office Employees 19 d Auto Parking - 20 d Trailer Spaces - 0	SF/Office Employee 214 SF/Office Employee 190 SF/Office	22,294 Warehouse SF 17,992	Employees 4 Warehouse Employees	Employee 5,574 SF/Warehouse Employee	Trailer Spaces	WHSF 0.00 Trailer Spaces/1,000 WHSF 0.00 Trailer Spaces/1,000
Office SF 214 Total Required Total Required NWDC Building Office SF 3,616 Total Required NWDC Building Office SF	Office Employees 1 d Auto Parking - 5 d Trailer Spaces - 0 g A -Miner Office Employees 19 d Auto Parking - 20 d Trailer Spaces - 0 g A -SupplyOne Office Employees	SF/Office Employee 214 SF/Office Employee 190 SF/Office Employee	22,294 Warehouse SF 17,992 Warehouse SF	Employees 4 Warehouse Employees 1 Warehouse Employees	Employee 5,574 SF/Warehouse Employee 17,992 SF/Warehouse Employee	Trailer Spaces 0 Trailer Spaces	WHSF 0.0 Trailer Spaces/1,00 WHSF 0.0 Trailer Spaces/1,00 WHSF
Office SF 214 Total Required Total Required NWDC Building Office SF 3,616 Total Required Total Required NWDC Building Office SF 1,591	Office Employees 1 d Auto Parking - 5 d Trailer Spaces - 0 <u>g A -Miner</u> Office Employees 19 d Auto Parking - 20 d Trailer Spaces - 0 <u>g A -SupplyOne</u> Office Employees 2	SF/Office Employee 214 SF/Office Employee 190 SF/Office	22,294 Warehouse SF 17,992	Employees 4 Warehouse Employees 1 Warehouse	Employee 5,574 SF/Warehouse Employee 17,992 SF/Warehouse	Trailer Spaces	WHSF 0.0 Trailer Spaces/1,00 WHSF 0.0 Trailer Spaces/1,00
Office SF 214 Total Required Total Required NWDC Building Office SF 3,616 Total Required NWDC Building Office SF 1,591 Total Required	Office Employees 1 d Auto Parking - 5 d Trailer Spaces - 0 g A -Miner Office Employees 19 d Auto Parking - 20 d Trailer Spaces - 0 g A -SupplyOne Office Employees	SF/Office Employee 214 SF/Office Employee 190 SF/Office Employee	22,294 Warehouse SF 17,992 Warehouse SF	Employees 4 Warehouse Employees 1 Warehouse Employees	Employee 5,574 SF/Warehouse Employee 17,992 SF/Warehouse Employee	Trailer Spaces 0 Trailer Spaces	WHSF 0.0 Trailer Spaces/1,00 WHSF 0.0 Trailer Spaces/1,00 WHSF

NWDC Totals							
		SF/Office		Warehouse	SF/Warehouse		Trailer Spaces/1,000
Office SF	Office Employees	Employee	Warehouse SF	Employees	Employee	Trailer Spaces	WHSF
13,055	46	284	304,225	56	5,433	20	0.07
Total Required	Auto Parking - 102						
Total Required Trailer Spaces - 20							